

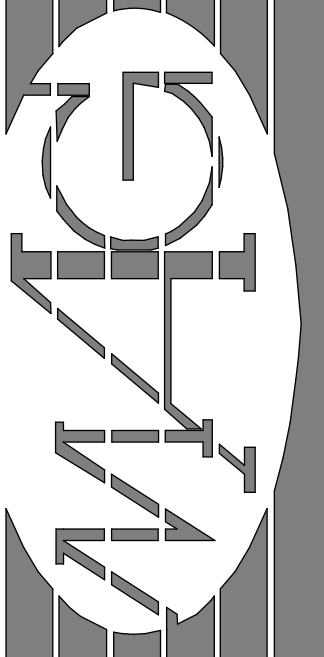
# B a t y R e s i d e n c e

## Chaum Ranch at Kula I'o - Lot 5 Kula, Maui, Hawaii, (2) 2-3-002 : 138

COUNTY OF MAUI MAUI COUNTY CODE, CHAPTER 16, 16B ENERGY CODE RESIDENTIAL PROVISIONS	
COMPLIANCE METHOD Check applicable method	
<input checked="" type="checkbox"/>	R401.2(1) R401.3 through R404 (Prescriptive)
<input type="checkbox"/>	R401.2(2) R405, R401 through 404 Labeled Mandatory (Simulates Performance Alternative)
<input type="checkbox"/>	R401.2(3) R406 (Energy Rating Index Compliance Alternative)
<input type="checkbox"/>	R401.2(4) R401.2.1 (Tropical Zone)
<input type="checkbox"/>	R102.1 (Alternative)

To the best of my knowledge, this project's design substantially conforms to the Energy code:

Signature: *Dennis J. Harmon* Date: 3/22/21  
Name: DENNIS J. HARMON  
Title: ARCHITECT  
License No: 9681



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DENNIS J. HARMON  
LICENSED PROFESSIONAL ARCHITECT  
No. 9681  
HAWAII, U.S.A.  
Exp. Date: 4-30-22

### ABBREVIATIONS

ABBR.	WORD	ABBR.	WORD	ABBR.	WORD
&	And	FDN.	Foundation	R.	Radius; Riser
∠	Angle	F.G.	Finish Grade	REBAR.	Reinforcing Bar
@	At	FIN.	Finish	RESP.	Reference
⊕	Centerline	FIX.	Fixture	REFL.	Reflected
—	Channel	FL.	Floor	REFR.	Refrigerator
⊥	Foot; Feet	FLASH.	Flashing	REINF.	Reinforcing
—	Inch; Inches	FLG.	Flooring	REQ.	Required
%	Percent	F.O.S.	Face Of Studs	REV.	Revised; Revision
⊥	Perpendicular	F.R.P.	Fiberglass Reinf. Panel	RFG.	Roofing
#	Pound; Number	FRMG.	Framing	RGH.	Rough
⊥	Property Line	FRZ.	Freezer	R.H.	Robe Hook
A/C	Air Conditioning	FT.	Foot; Feet	RLG.	Railing
A.B.	Anchor Bolt	FTG.	Footing	RM.	Room
ABV.	Above	FURR.	Furring; Furred	RND.	Round
A.C.	Asphaltic Concrete	GA.	Gage	R.O.	Rough Opening
ACOUS.	Acoustical	GALV.	Galvanized	S.C.	Solid Core
A.D.	Area Drain	G.B.	Grid Bar	SCR.	Screen
ADD.	Addendum	GL.	Glass	S.D.	Smoke Detector
ADJ.	Adjustable	GLU-LAM.	Glu-Laminated Wood	S.DISH	Soap Dish
ALT.	Alter; Alternate	GND.	Ground	SECT.	Section
ANOD.	Anodized	GR.	Grade	S.F.	Square Feet
A.P.	Access Panel	GYP.	Gypsum	SH.	Shelf
APPROX.	Approximate	H.	High	SHR.	Shower
ARCH.	Architectural	H.B.	Hose Bibb	SHT.	Sheet
A.T.	Acoustical Tile	H.C.	Hollow Core	SHTG.	Sheathing
BD.	Board	HD.	Head	SIM.	Similar
BLDG.	Building	HDWD.	Hardwood	SL.	Slope
BLK.	Block	HGR.	Hanger	SLDG.	Sliding
BLKG.	Blocking	HORIZ.	Horizontal	SLNT.	Sealant
BM.	Beam	HR.	Hour	S.M.	Sheet Metal
BOT.	Bottom	HT.	Height	S.N.	Shampoo Niche
B.O.W.	Bottom Of Wall	I.D.	Inside Diameter	SPEC.	Specification
B.S.	Both Sides	IN.	Inch; Inches	SPKR.	Speaker
BTWN.	Between	INCL.	Included; Including	SQ.	Square
CAB.	Cabinet	INST.	Installed	SST.	Stainless Steel
C.B.	Catch Basin	INSUL.	Insulation	ST.	Stone
CEM.	Cement	INT.	Interior	STD.	Standard
CEM. PLAS.	Cement Plaster	JST.	Joist	STL.	Steel
CER.	Ceramic	JT.	Joint	STN.	Stain
C.J.	Control Joint	LAM.	Laminated; Laminated	STOR.	Storage
CLG.	Ceiling	LAV.	Lavatory	STRUC.	Structural
C.L.O.	Closet	L.B.	Liquid Propane Gas	STRUC.	Structure
CLR.	Clear	L.F.	Lineal Feet	SUSP.	Suspended
C.M.U.	Concrete Masonry Unit	L.P.G.	Liquid Propane Gas	SYM.	Symmetrical
CNTR.	Counter	LT.	Light	SYS.	System
COL.	Column	LVR.	Louver	T&G	Tongue and Groove
CONC.	Concrete	MAS.	Masonry	T.B.	Towel Bar
CONN.	Connection	MAX.	Maximum	T.B.B.	Tile Backer Board
CONSTR.	Construction	M.B.	Machine Bolt	T.D.	Trench Drain
CONT.	Continuous	M.C.	Medicine Cabinet	TEL.	Telephone
COORD.	Coordinate	MECH.	Mechanical	THRU	Through
COP.	Copper	MEMB.	Membrane	TLT.	Toilet
CORR.	Corridor	MET.	Metal	T.O. ( )	Top Of (Item)
CPT.	Carpet	MFR.	Manufacturer	T.O.C.	Top Of Curb
C.R.M.	Concrete Rubble Masonry	MIN.	Minimum	T.O.P.	Top Of Plate
C.T.	Ceramic Tile	MIR.	Mirror	T.O.S.	Top Of Slab
D.	Dryer	MISC.	Miscellaneous	T.O.W.	Top Of Wall
DBL.	Double	MLDG.	Molding	T.P.H.	Toilet Paper Holder
DET.	Detail	MTL.	Material	T.R.	Towel Ring
DIA.	Diameter	N.	North	TRAN.	Transition
DIAG.	Diagonal	N.I.C.	Not In Contract	TRD.	Tread
DIM.	Dimension	NO.	Number	TV.	Television
DN.	Down	N.T.S.	Not To Scale	TYP.	Typical
DR.	Door	OBS.	Obscure	UNF.	Unfinished
DS.	Downspout	O.C.	On Center	U.O.N.	Unless Otherwise Noted
DW.	Dishwasher	O.D.	Outside Diameter	VAL.	Valance
DWG.	Drawing	OPNG.	Opening	VAR.	Varies
(E), EXST.	Existing	OPP.	Opposite	VERT.	Vertical
EA.	Each	OPR.	Operable	VOL.	Volume
E.C.	Elastomeric Coating	OVHD.	Overhead	V.T.R.	Vent Through Roof
E.F.S.	Exterior Finish System	PL.	Plate; Property Line	W.	Washer; Width
E.I.F.S.	Ext. Insul. Fin. Sys.	P.LAM.	Plastic Laminated	W/	With
E.J.	Expansion Joint	PLAS.	Plaster	W/O	With Out
ELEV.	Elevation	PLYB.	Plumbing	W.C.	Wall Covering
ELEC.	Electrical	PLYVD.	Plywood	WD.	Wood
ELEV.	Elevator	PNL.	Panel	WDW.	Window
ENCL.	Enclosure	PR.	Pair	W.H.	Water Heater
E.P.	Electrical Panelboard	PRECAST.	Precast	W.O.	Where Occurs
EQ.	Equal	PREFAB.	Prefabricate	W.P.	Water Proofing
EQPT.	Equipment	PREP.	Preparation	WP. MEMB.	Waterproof Membrane
E.W.	Each Way	PROP.	Property	W.R.	Water Resistant
EXH.	Exhaust	PT.	Paint; Paint	W.SCT.	Wainscot
EXP.	Expansion	PTN.	Partition	WT.	Weight
EXPO.	Exposed	PVMT.	Pavement	W.W.M.	Welded Wire Mesh
EXT.	Exterior	V.P.	Vapor Proof		
FAB.	Fabricate				
F.B.	Flat Bar				
F.D.	Floor Drain				

### SYMBOLS LEGEND

	<b>SECTION REFERENCE</b> SECTION NUMBER (TYP.) SHEET NUMBER (TYP.)
	<b>DETAILED SECTION REFERENCE</b>
	<b>ELEVATION REFERENCE</b>
	<b>DETAILED ELEVATION REFERENCE</b>
	<b>DETAIL REFERENCE</b> DETAIL NUMBER (TYP.) SHEET NUMBER (TYP.)
	<b>MATCH LINE</b> SHADED PORTION IS SIDE TO BE CONSIDERED
	<b>DATUM OR CONTROL POINT</b>
	<b>NORTH POINT</b>
	<b>EXTERIOR &amp; INTERIOR ELEVATION KEY</b>
	<b>GREAT ROOM</b> 12'-0"
	<b>PROPERTY LINE</b>
	<b>SETBACK LINE</b>
	<b>PROPOSED CONTOURS</b>
	<b>EXISTING CONTOURS</b>
	<b>REVISION NUMBER &amp; CLOUD</b>

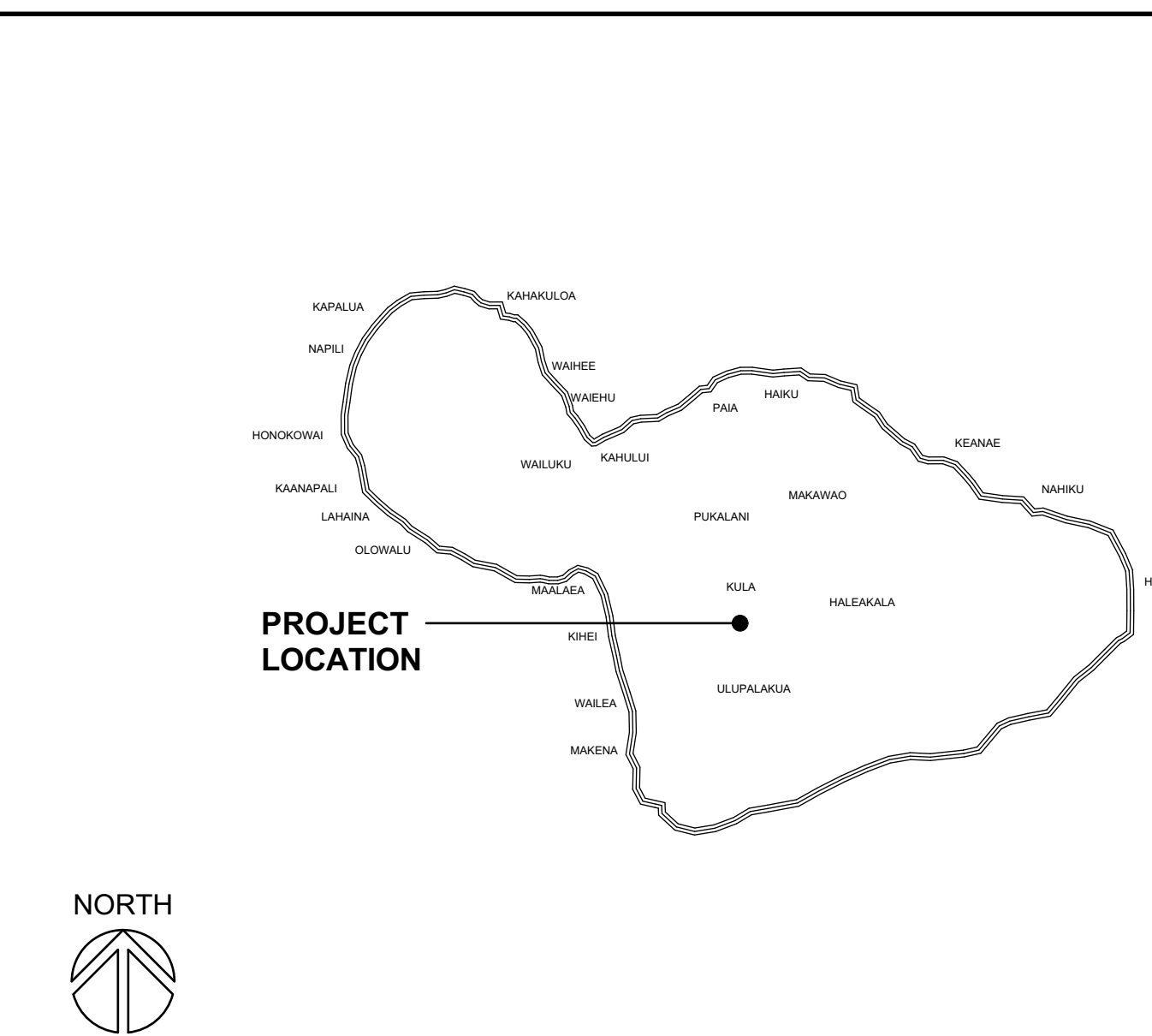
### INDEX TO DRAWINGS

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		SP2.1 Swimming Pool & Bunker Details
		SP3.1 Swimming Pool & Bunker Plans & Details
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S5.2	Roof Framing Details	
S5.3	Roof Framing Details	

### PROJECT INFORMATION

<b>LOT NUMBER:</b>	Lot 5
<b>STREET ADDRESS:</b>	237 Kula I'o Road
<b>T.M.K. NUMBER:</b>	(2) 2-3-002 : 138
<b>LOT AREA:</b>	3.623 Acres
<b>ZONING:</b>	AG
<b>CONSTRUCTION TYPE:</b>	V Non-Rated
<b>OCCUPANCY:</b>	R-3
<b>SETBACKS:</b>	Front: 21'-7" Side: 18'-7" Rear: 40'
<b>BUILDING AREA:</b>	Enclosed Living: 6,206 sq. ft. Covered Lanais: 2,344 sq. ft. Porte Cochere: 418 sq. ft. Garage & Storage: 1,728 sq. ft. Total Area: 10,696 sq. ft.
<b>DESIGN RESTRICTIONS:</b>	Maximum Roof Height Allowed = 30'-0" Proposed Roof Height = 23'-0"

### LOCATION MAP



### PROJECT TEAM

<b>OWNERS:</b>	Crescent Custom Homes, LLC. 317 Anapuni Loop Lahaina, HI 96761 (Tel) 808-250-6563 (Email) calvin@crescenthomesmaui.com
<b>CIVIL ENGINEER:</b>	DMC Engineering 2138 W. Vinyard St. Wailuku, HI 96793 (Tel) 808-422-2508 (Email) dom@dmcchi.com
<b>LANDSCAPE ARCHITECT:</b>	Kevin Tanaka, Landscape Architect 468 Polulani Drive Wailuku, HI 96793 (Tel) 808-243-9494 (Email) ktanaka001@hawaii.rr.com
<b>ARCHITECT:</b>	Maui Architectural Group, Inc. 2331 W. Main Street Wailuku, Maui, Hawaii (808) 244-9011 (808) 242-1776 email: mag@mauiarch.com
<b>STRUCTURAL ENGINEER:</b>	John Ritchey Structural Engineer, LLC. 308 Puhihi Street Kahului, HI 96732 (Tel) 808-727-2839 (Email) jr@irse.engineer
<b>SURVEYOR:</b>	Sun Star Surveying, LLC. P.O. Box 796 Wailuku, HI 96793 (Tel) 808-276-4337 (Email) russell@sunstarsurveying.com
<b>CONTRACTOR:</b>	Crescent Custom Homes, LLC. 317 Anapuni Loop Lahaina, HI 96761 (Tel) 808-250-6563 (Email) calvin@crescenthomesmaui.com

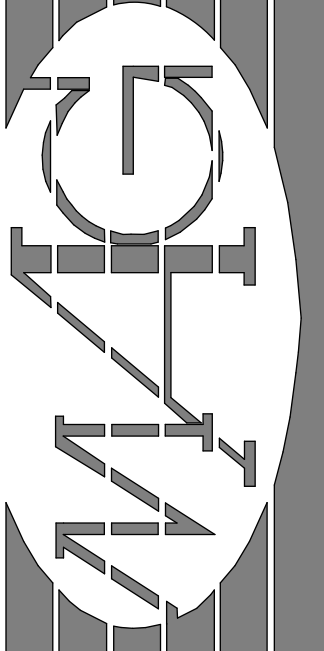
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**Baty Residence**  
Chaum Ranch at Kula I'o - Lot 5  
Kula, Maui, Hawaii

No.	Revision
△	C.R.: 7-31-2021
△	C.R.: 9-28-2021

Date:	June 01, 2021
Scale:	As Noted
Phase:	PERMIT
THK:	(2) 2-3-002 : 138
Sheet Number:	T-1
Sheet:	Of



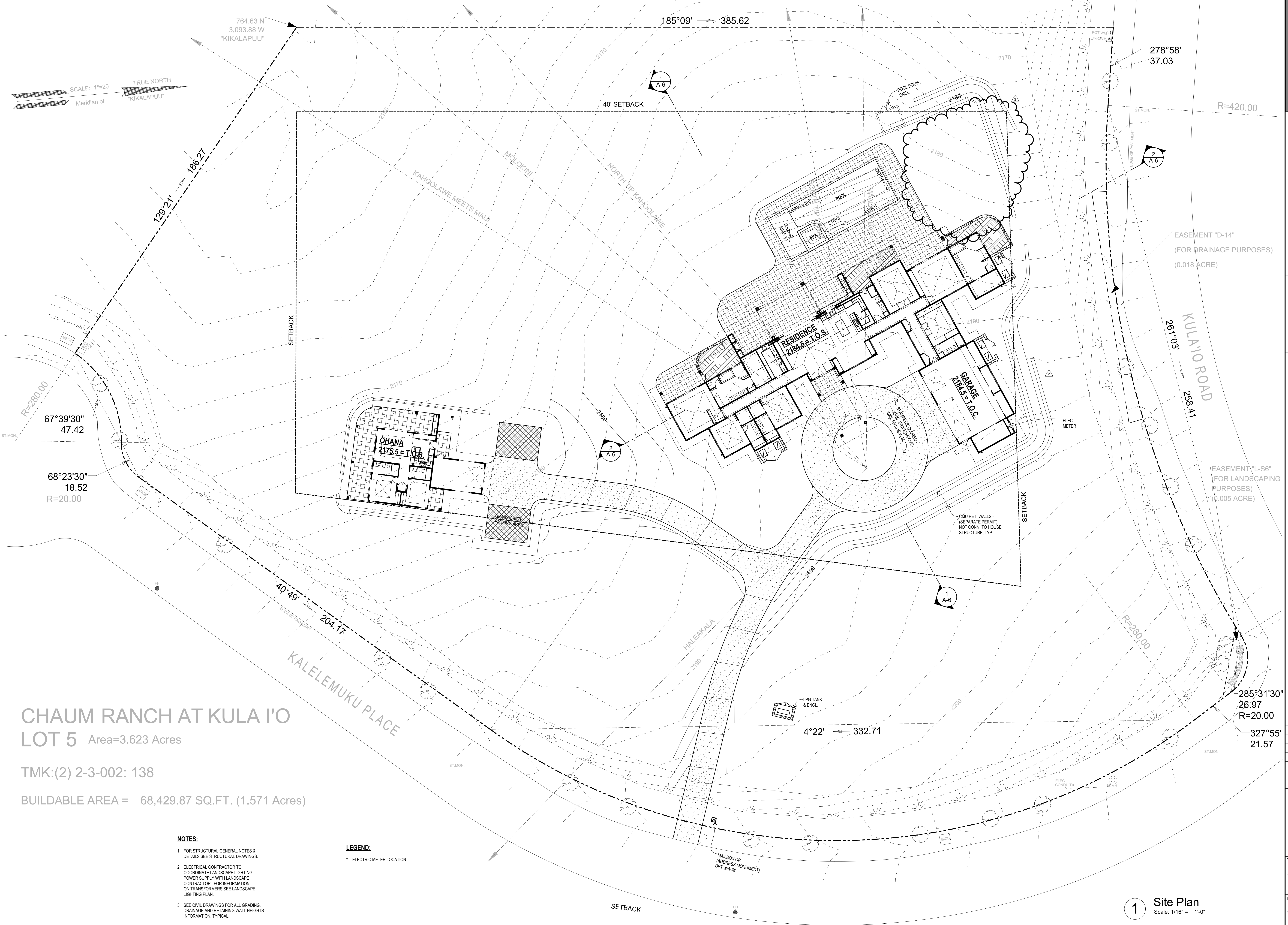
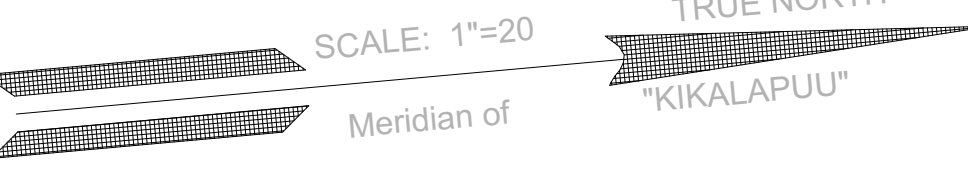


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 HAWAII, U.S.A.  
 Exp. Date 4-30-22

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 Dennis J. Harren



**CHAUM RANCH AT KULA I'O LOT 5** Area=3.623 Acres

TMK:(2) 2-3-002: 138

BUILDABLE AREA = 68,429.87 SQ.FT. (1.571 Acres)

**NOTES:**

- FOR STRUCTURAL GENERAL NOTES & DETAILS SEE STRUCTURAL DRAWINGS.
- ELECTRICAL CONTRACTOR TO COORDINATE LANDSCAPE LIGHTING POWER SUPPLY WITH LANDSCAPE CONTRACTOR. FOR INFORMATION ON TRANSFORMERS SEE LANDSCAPE LIGHTING PLAN.
- SEE CIVIL DRAWINGS FOR ALL GRADING, DRAINAGE AND RETAINING WALL HEIGHTS INFORMATION, TYPICAL.

**LEGEND:**

◉ ELECTRIC METER LOCATION.

**Baty Residence**  
 Chaum Ranch at Kula I'o - Lot 5  
 Kula, Maui, Hawaii

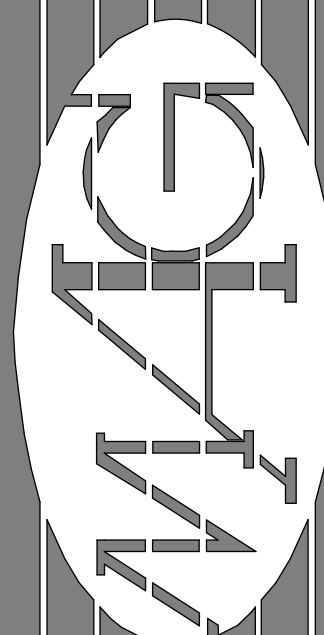
No.	Revision
1	CR: 7-31-2021
2	County Rev: 8-6-2021
3	CR: 9-28-2021

Site Plan
Date: June 01, 2021
Scale: As Noted
Phase: PERMIT
TMK: (2) 2-3-002 : 138
Sheet Number:

**1 Site Plan**  
 Scale: 1/16" = 1'-0"

**A-1**

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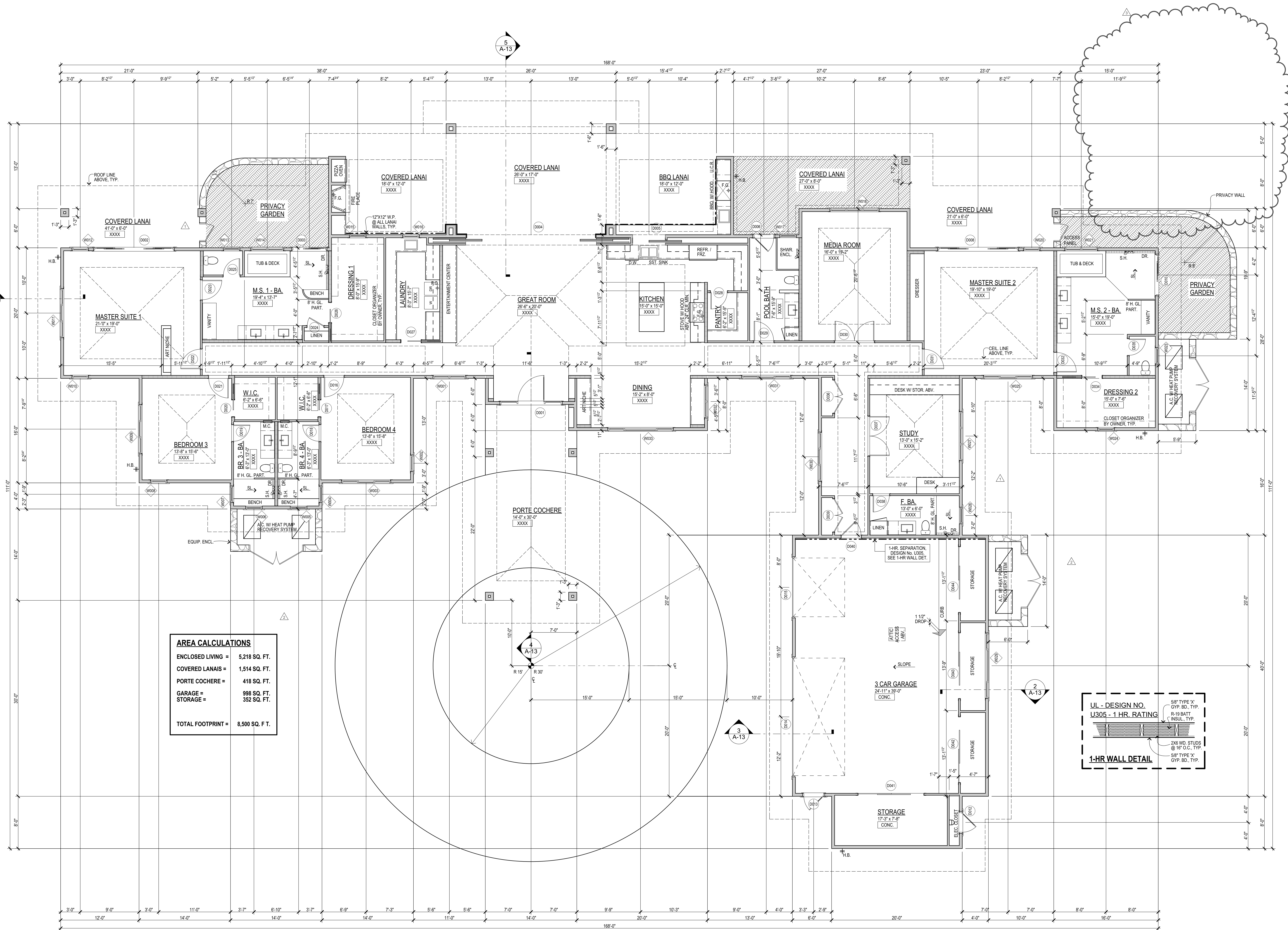
*Dennis J. Harren*

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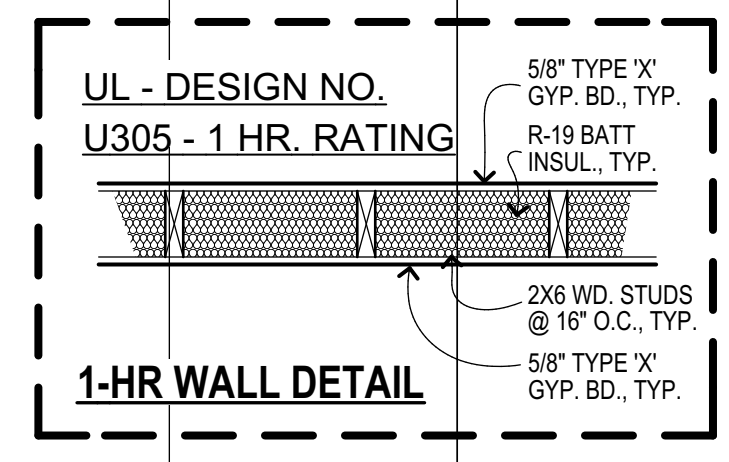
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Kula, Maui, Hawaii

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△	C.R.: 9-28-2021

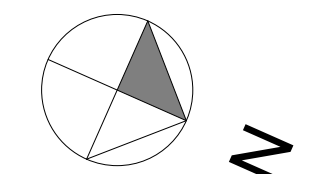
Main House - Floor Plan	
Date:	June 01, 2021
Scale:	As Noted
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TRK:	(2) 2-3-002 : 138
Sheet Number:	A-2
Sheet:	Of



AREA CALCULATIONS	
ENCLOSED LIVING =	5,218 SQ. FT.
COVERED LANAIS =	1,514 SQ. FT.
PORTE COCHERE =	418 SQ. FT.
GARAGE =	998 SQ. FT.
STORAGE =	352 SQ. FT.
<b>TOTAL FOOTPRINT =</b>	<b>8,500 SQ. FT.</b>

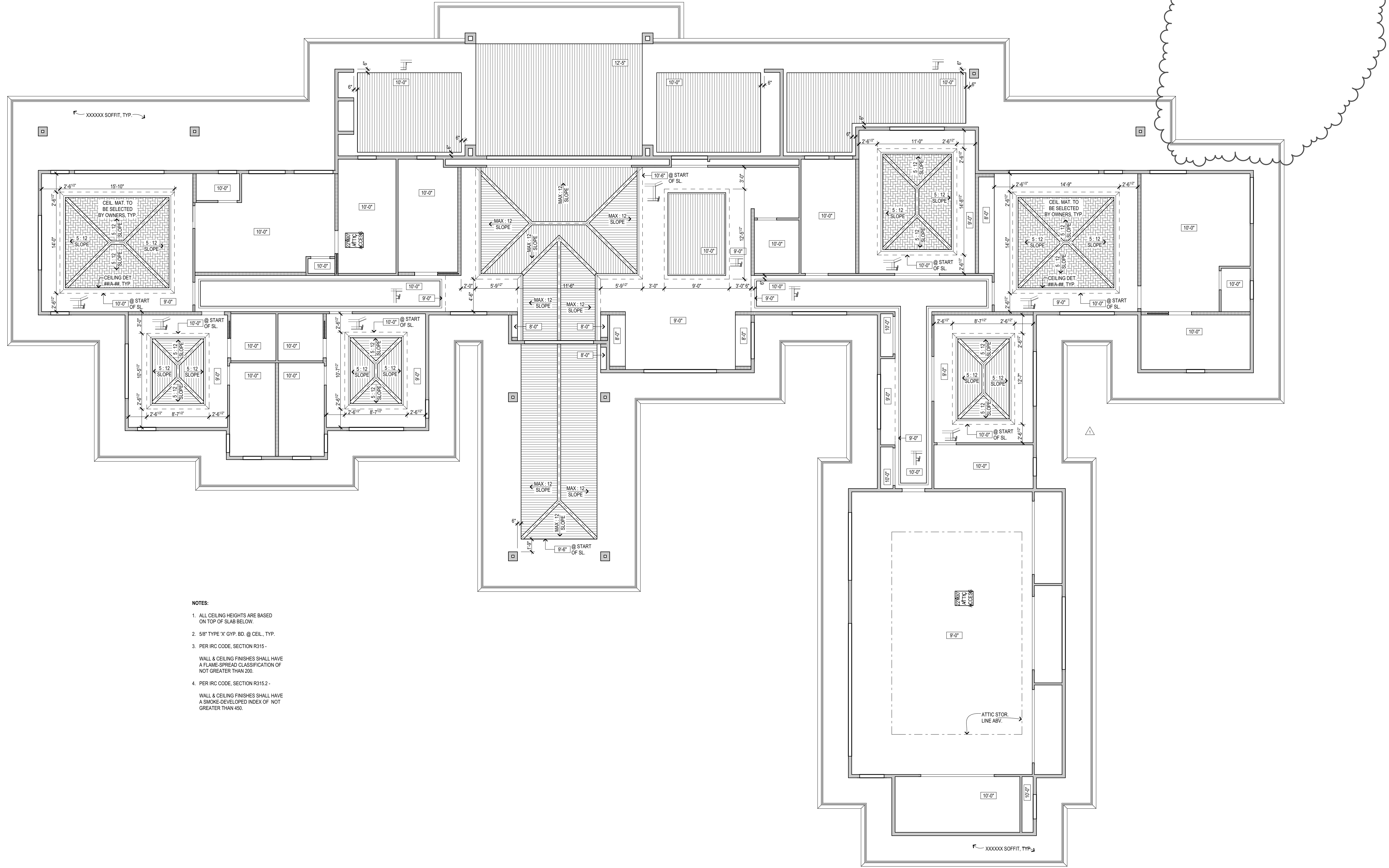


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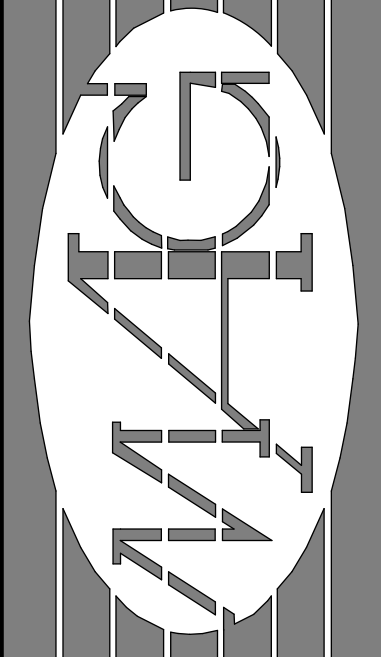


**1** Main House - Floor Plan  
Scale: 3/16" = 1'-0"





- NOTES:**
1. ALL CEILING HEIGHTS ARE BASED ON TOP OF SLAB BELOW.
  2. 5/8" TYPE 'X' GYP. BD. @ CEIL., TYP.
  3. PER IRC CODE, SECTION R315.1 - WALL & CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200.
  4. PER IRC CODE, SECTION R315.2 - WALL & CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.



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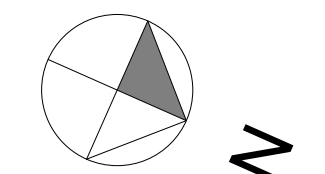
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*Dennis J. Harwell*

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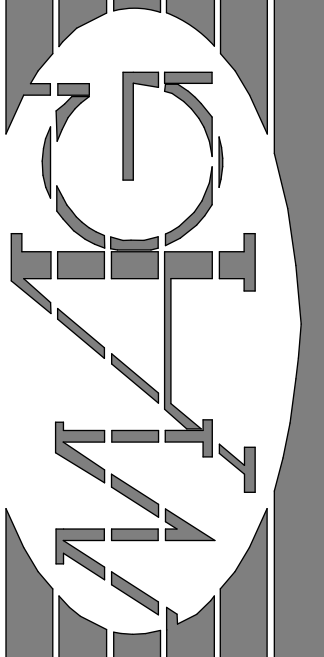
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△	C.R.: 9-28-2021

Main House - Ceiling Plan  
 Date: June 01, 2021  
 Scale: As Noted  
 Phase: PERMIT  
 TMK: (2) 2-3-002 : 138  
 Sheet Number:

**A-3**  
 Sheet: Of:



**1** Main House - Ceiling Plan  
 Scale: 3/16" = 1'-0"



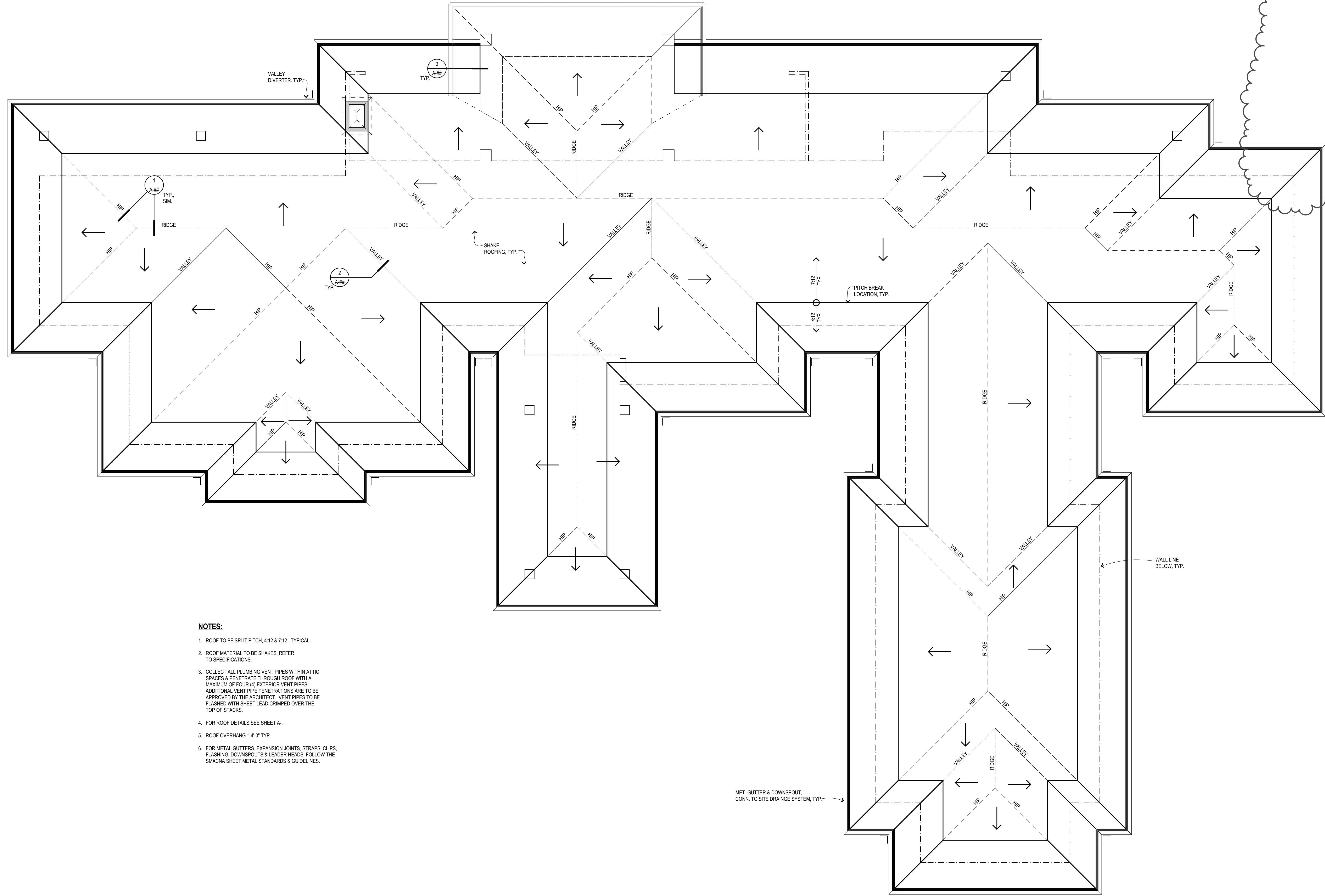
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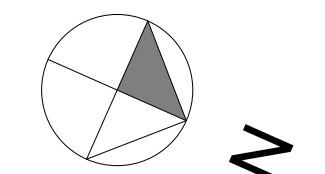
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*Dennis J. Harken*



**NOTES:**

1. ROOF TO BE SPLIT PITCH, 4:12 & 7:12, TYPICAL.
2. ROOF MATERIAL TO BE SHAKES, REFER TO SPECIFICATIONS.
3. COLLECT ALL PLUMBING VENT PIPES WITHIN ATTIC SPACES & PENETRATE THROUGH ROOF WITH A MAXIMUM OF FOUR (4) EXTERIOR VENT PIPES. ADDITIONAL VENT PIPE PENETRATIONS ARE TO BE APPROVED BY THE ARCHITECT. VENT PIPES TO BE FLASHED WITH SHEET LEAD CRIMPED OVER THE TOP OF STACKS.
4. FOR ROOF DETAILS SEE SHEET A-.
5. ROOF OVERHANG = 4'-0" TYP.
6. FOR METAL GUTTERS, EXPANSION JOINTS, STRAPS, CLIPS, FLASHING, DOWNSPOUTS & LEADER HEADS, FOLLOW THE SMACNA SHEET METAL STANDARDS & GUIDELINES.



**1** Main House - Roof Plan  
Scale: 3/16" = 1'-0"

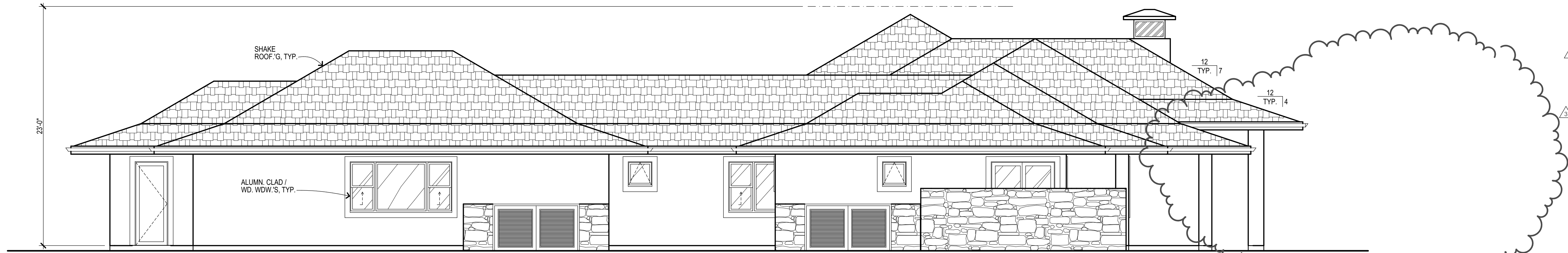
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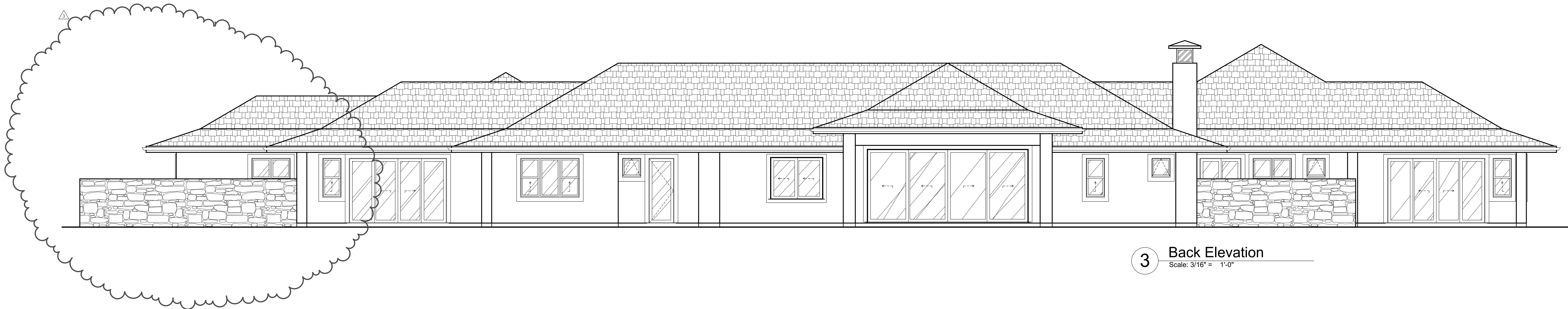
Main House - Roof Plan  
Date: June 01, 2021  
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Phase: PERMIT  
TMK: (2) 2-3-002 : 138  
Sheet Number:

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Sheet: Of:

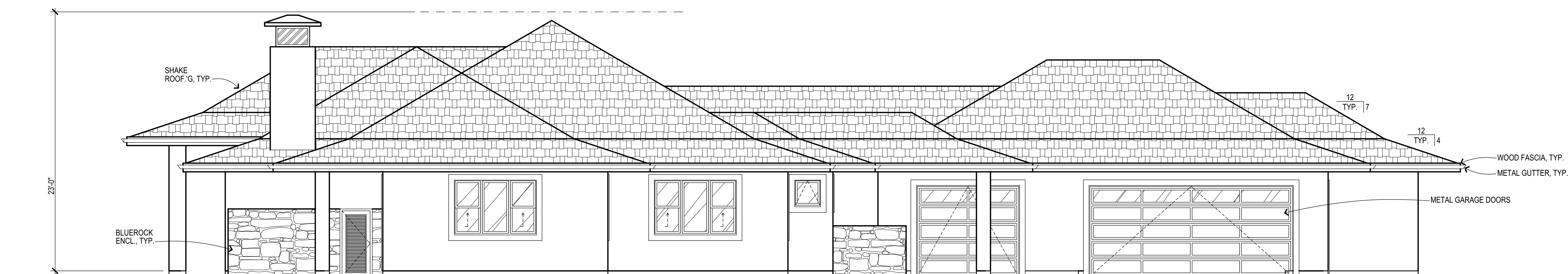
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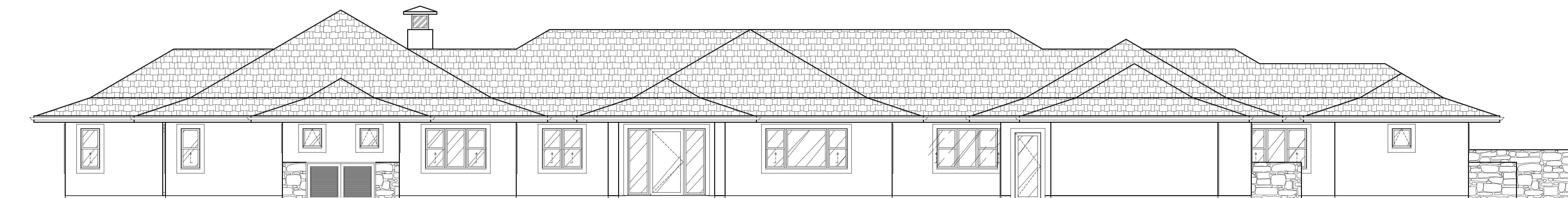
**4** Right Elevation  
Scale: 3/16" = 1'-0"



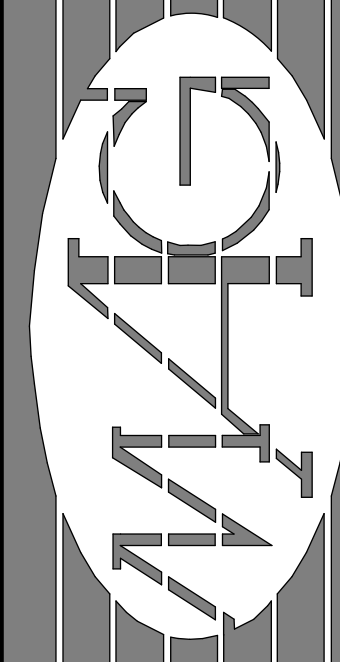
**3** Back Elevation  
Scale: 3/16" = 1'-0"



**2** Left Elevation  
Scale: 3/16" = 1'-0"



**1** Front Elevation  
Scale: 3/16" = 1'-0"



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LICENSED PROFESSIONAL ARCHITECT  
No. 9681  
HAWAII, U.S.A.  
Exp. Date 4-30-22

THIS DRAWING WAS PREPARED BY ME OR UNDER MY SUPERVISION AND I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF HAWAII. I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF HAWAII. My License No. is 9681. My Commission Expires on 4/30/22.

*Dennis J. Harren*

**Baty Residence**  
Chaum Ranch at Kula I'o - Lot 5  
Kula, Maui, Hawaii

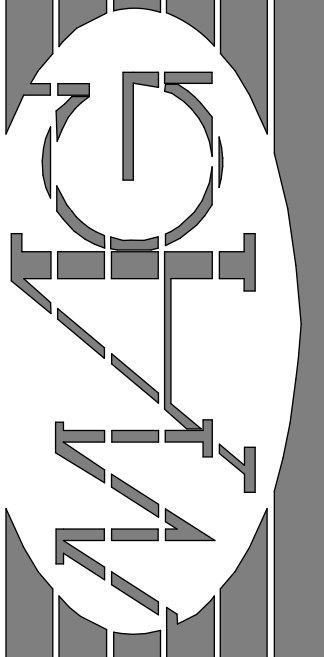
No.	Revision
△ C.R.	7-31-2021
△ C.R.	9-28-2021

Main House -  
Exterior Elevations

Date: June 01, 2021  
Scale: As Noted  
Phase: PERMIT  
TMK: (2) 2-3-002 : 138  
Sheet Number:

**A-5**  
Sheet: Of:

9/28/2021 12:38 PM



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Exp. Date 4-30-22

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*Dennis J. Harren*  
Architect

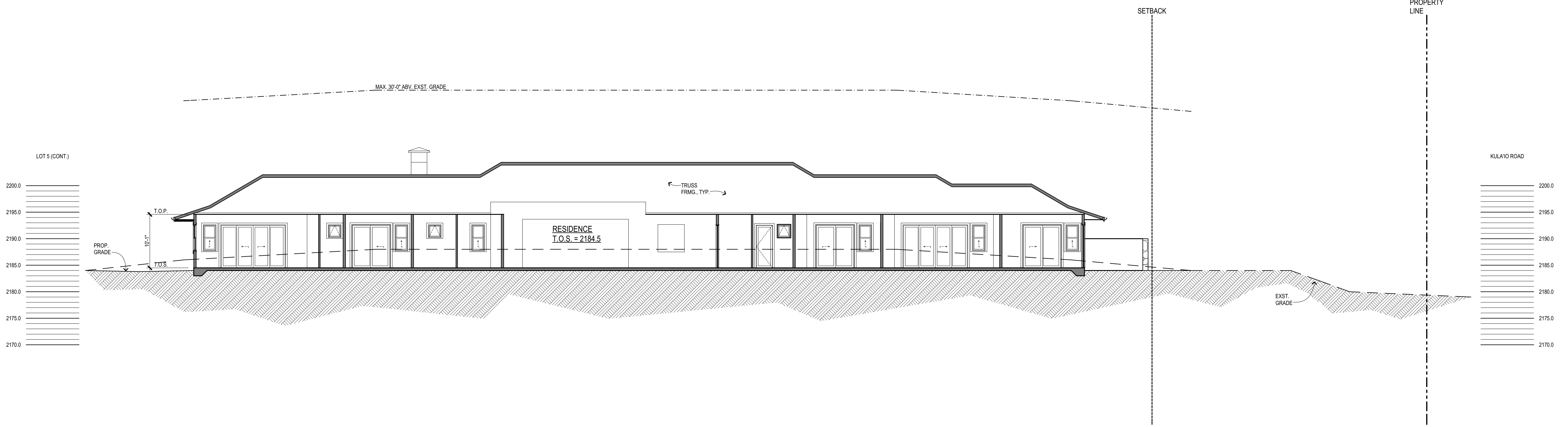
**Baty Residence**  
Chaum Ranch at Kula I'o - Lot 5  
Kula, Maui, Hawaii

No.	Revision

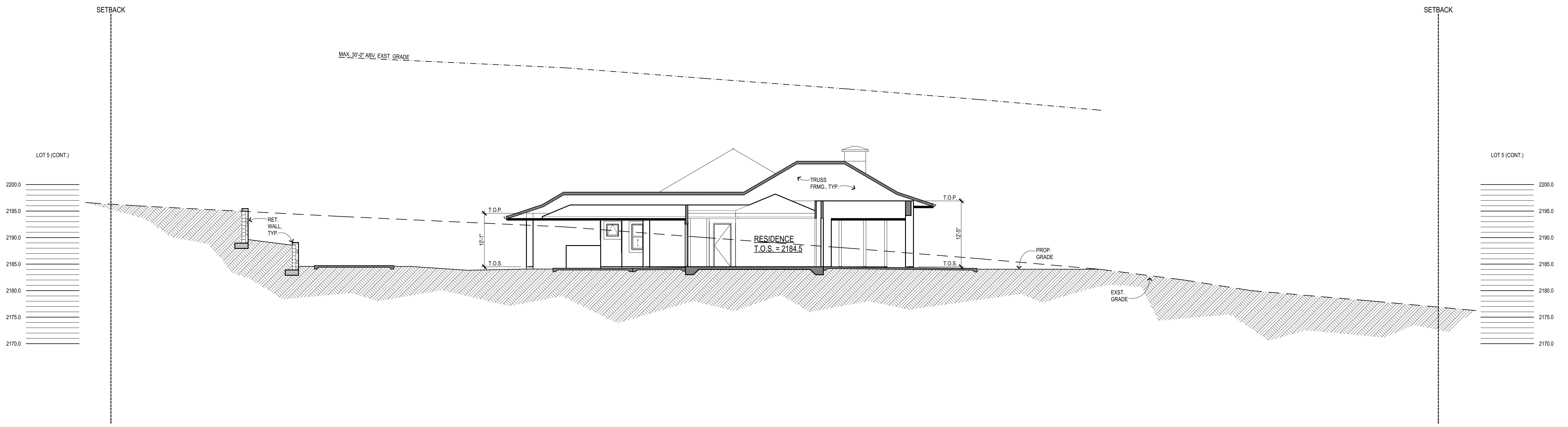
Main House - Site Sections

Date: June 01, 2021  
Scale: As Noted  
Phase: PERMIT  
TMK: (2) 2-3-002 : 138  
Sheet Number:

**A-6**  
Sheet: Of:



**2 Site Section B**  
Scale: 1/8" = 1'-0"

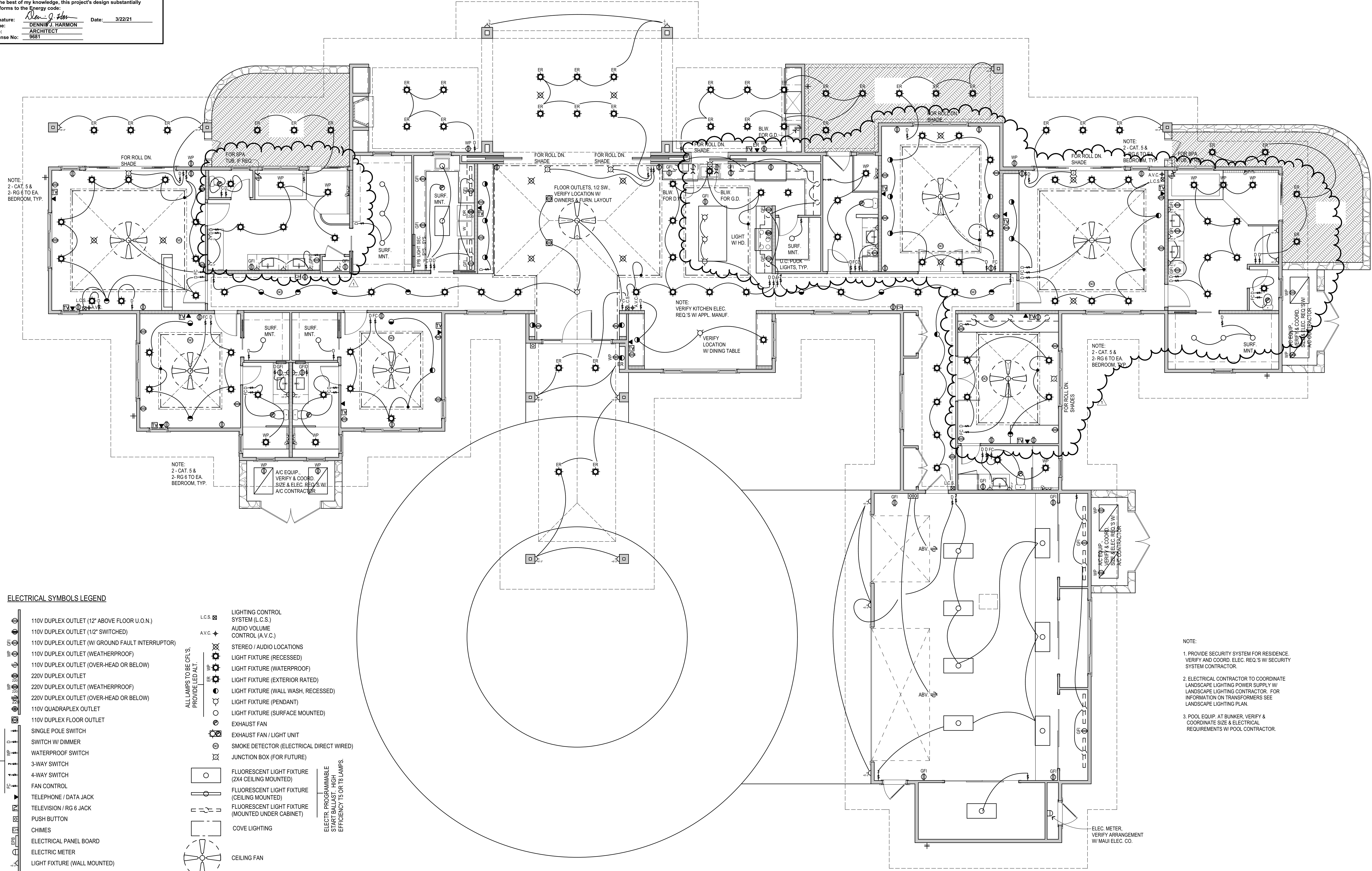


**1 Site Section A**  
Scale: 1/8" = 1'-0"

9/28/2021 12:38 PM



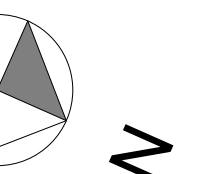
COUNTY OF MAUI MAUI COUNTY CODE - CHAPTER 16.168 ENERGY CODE RESIDENTIAL PROVISIONS	
COMPLIANCE METHOD	
Check applicable method	
<input checked="" type="checkbox"/>	R401.2(1) R401.3 through R404 (Prescriptive)
<input type="checkbox"/>	R401.2(2) R405, R401 through 404 labeled Mandatory (Simulates Performance Alternative)
<input type="checkbox"/>	R401.2(3) R406 (Energy Rating Index Compliance Alternative)
<input type="checkbox"/>	R401.2(4) R401.2.1 (Tropical Zone)
<input type="checkbox"/>	R102.1 (Alternative)
To the best of my knowledge, this project's design substantially conforms to the Energy code:	
Signature: <i>Dennis J. Harmon</i>	Date: 3/22/21
Name: DENNIS J. HARMON	
Title: ARCHITECT	
License No: 9681	



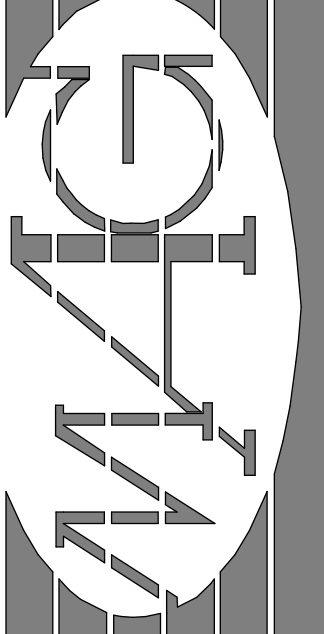
ELECTRICAL SYMBOLS LEGEND

	110V DUPLEX OUTLET (12" ABOVE FLOOR U.O.N.)		LIGHTING CONTROL SYSTEM (L.C.S.)
	110V DUPLEX OUTLET (1/2" SWITCHED)		AUDIO VOLUME CONTROL (A.V.C.)
	110V DUPLEX OUTLET (W/ GROUND FAULT INTERRUPTOR)		STEREO / AUDIO LOCATIONS
	110V DUPLEX OUTLET (WEATHERPROOF)		LIGHT FIXTURE (RECESSED)
	110V DUPLEX OUTLET (OVER-HEAD OR BELOW)		LIGHT FIXTURE (WATERPROOF)
	220V DUPLEX OUTLET		LIGHT FIXTURE (EXTERIOR RATED)
	220V DUPLEX OUTLET (WEATHERPROOF)		LIGHT FIXTURE (WALL WASH, RECESSED)
	220V DUPLEX OUTLET (OVER-HEAD OR BELOW)		LIGHT FIXTURE (PENDANT)
	110V QUADRAPLEX OUTLET		LIGHT FIXTURE (SURFACE MOUNTED)
	110V DUPLEX FLOOR OUTLET		EXHAUST FAN
	SINGLE POLE SWITCH		EXHAUST FAN / LIGHT UNIT
	SWITCH W/ DIMMER		SMOKE DETECTOR (ELECTRICAL DIRECT WIRED)
	WATERPROOF SWITCH		JUNCTION BOX (FOR FUTURE)
	3-WAY SWITCH		FLUORESCENT LIGHT FIXTURE (2X4 CEILING MOUNTED)
	4-WAY SWITCH		FLUORESCENT LIGHT FIXTURE (CEILING MOUNTED)
	FAN CONTROL		FLUORESCENT LIGHT FIXTURE (MOUNTED UNDER CABINET)
	TELEPHONE / DATA JACK		COVE LIGHTING
	TELEVISION / RG 6 JACK		CEILING FAN
	PUSH BUTTON		
	CHIMES		
	ELECTRICAL PANEL BOARD		
	ELECTRIC METER		
	LIGHT FIXTURE (WALL MOUNTED)		

NOTE:  
 1. PROVIDE SECURITY SYSTEM FOR RESIDENCE. VERIFY AND COORD. ELEC. REQ'S W/ SECURITY SYSTEM CONTRACTOR.  
 2. ELECTRICAL CONTRACTOR TO COORDINATE LANDSCAPE LIGHTING POWER SUPPLY W/ LANDSCAPE LIGHTING CONTRACTOR. FOR INFORMATION ON TRANSFORMERS SEE LANDSCAPE LIGHTING PLAN.  
 3. POOL EQUIP. AT BUNKER. VERIFY & COORDINATE SIZE & ELECTRICAL REQUIREMENTS W/ POOL CONTRACTOR.



1 Main House - Electrical Plan  
 Scale: 3/16" = 1'-0"



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*Dennis J. Harmon*

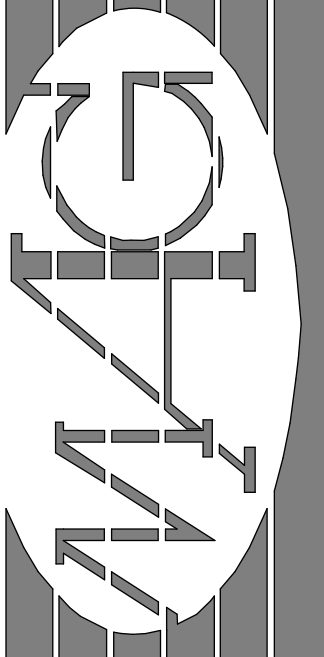
**Baty Residence**  
 Chaum Ranch at Kula I'o - Lot 5  
 Kula, Maui, Hawaii

No.	Revision
1	CR: 7-31-2021

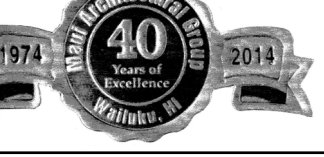
Main House - Electrical Plan  
 Date: June 01, 2021  
 Scale: As Noted  
 Phase: PERMIT  
 TMK: (2) 2-3-002 : 138  
 Sheet Number:

A-7  
 Sheet: Of





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 Exp. Date 4-30-22

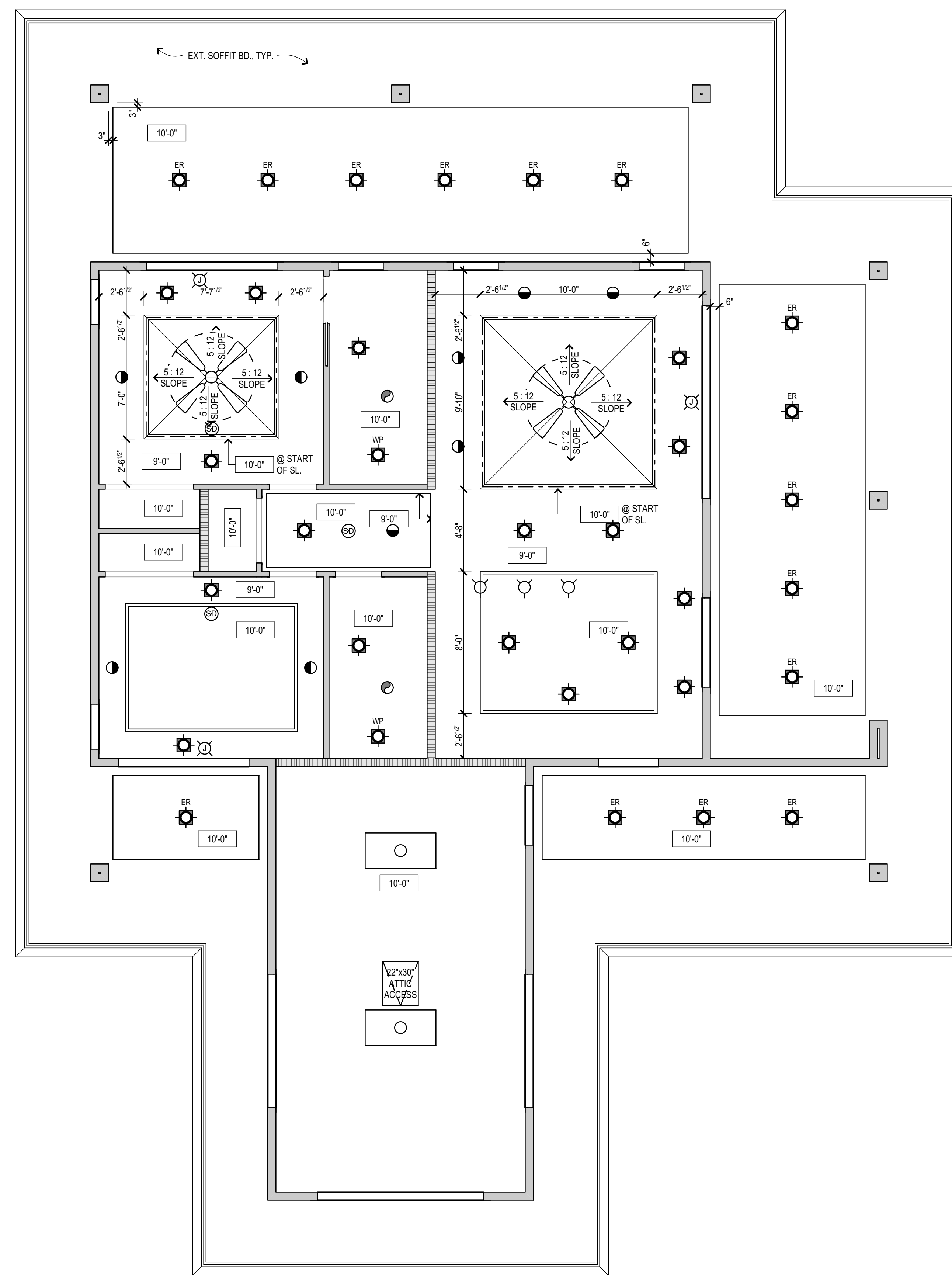
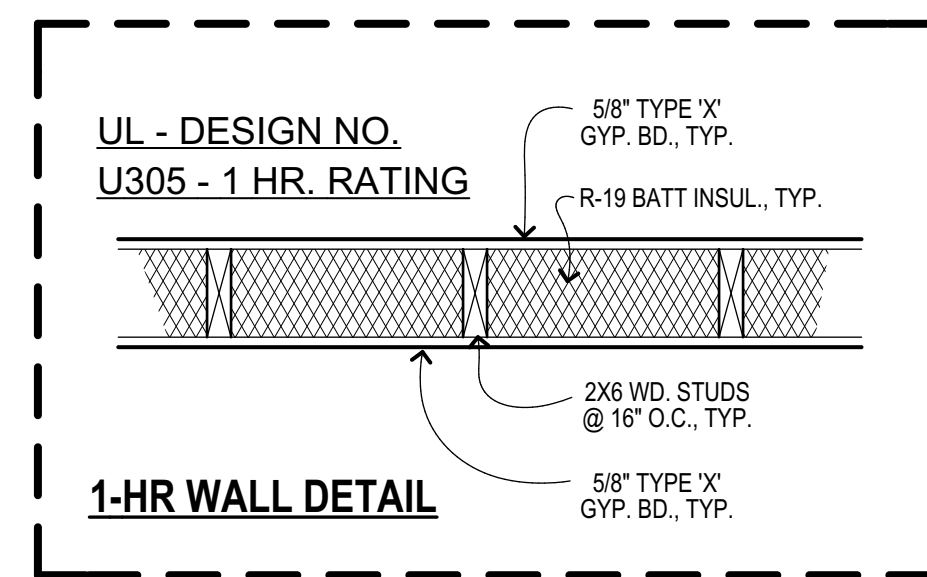
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND I WILL BE UNDER MY OBSERVATION. I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF HAWAII. My Commission Expires on 04/30/2022. Chapter 115, Sections 15-15.2.

**Baty Residence**  
 Chaum Ranch at Kula I'o - Lot 5  
 Kula, Maui, Hawaii

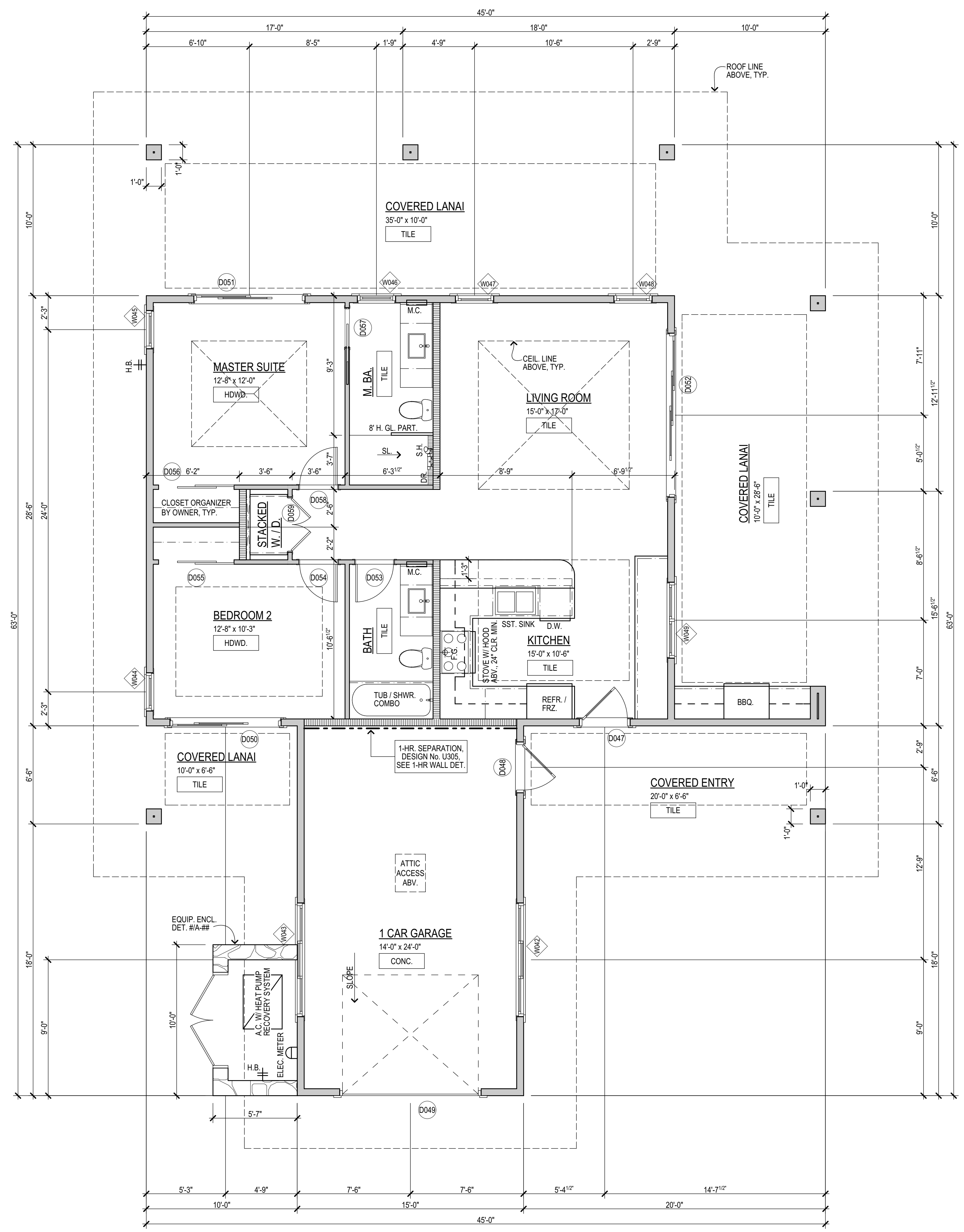
No.	Revision

Ohana - Floor & Ceiling Plans  
 Date: June 01, 2021  
 Scale: As Noted  
 Phase: PERMIT  
 TMR: (2) 2-3-002 : 138  
 Sheet Number:

**A-8**  
 Sheet: Of:

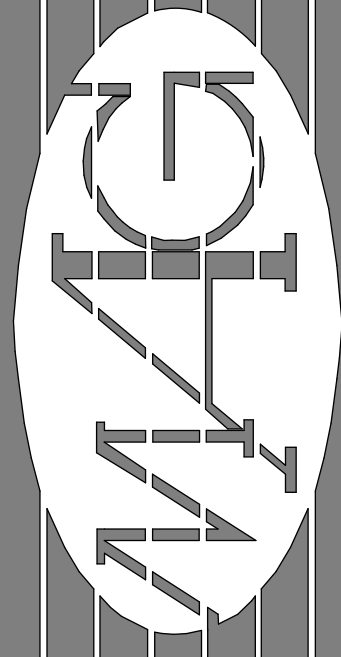


**2 Ceiling Plan**  
 Scale: 1/4" = 1'-0"



**1 Floor Plan**  
 Scale: 1/4" = 1'-0"

9/28/2021 12:39 PM



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Exp. Date 4-30-22

THIS WORK WAS SUPERVISED BY ME OR UNDER MY SUPERVISION AND WILL BE UNDER MY OBSERVATION.  
I am a duly Licensed Professional Engineer in the State of Hawaii, License No. 12027, Expires 12/31/2022.  
*Dennis J. Harlow*  
Professional Engineer

**Baty Residence**  
Chaum Ranch at Kula I'o - Lot 5  
Kula, Maui, Hawaii

No.	Revision

Ohana - Roof & Electrical Plan

Date: June 01, 2021

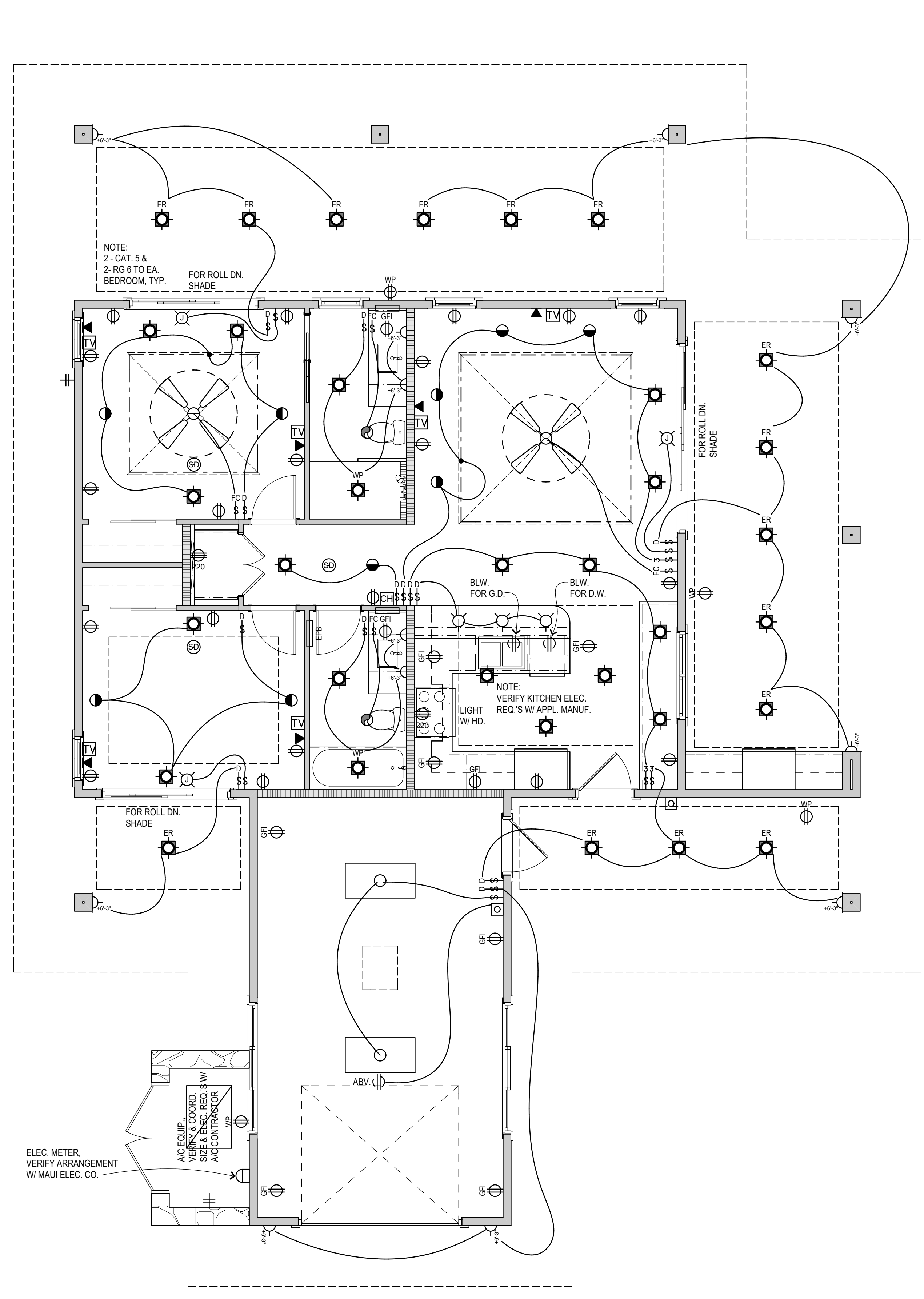
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Phase: PERMIT

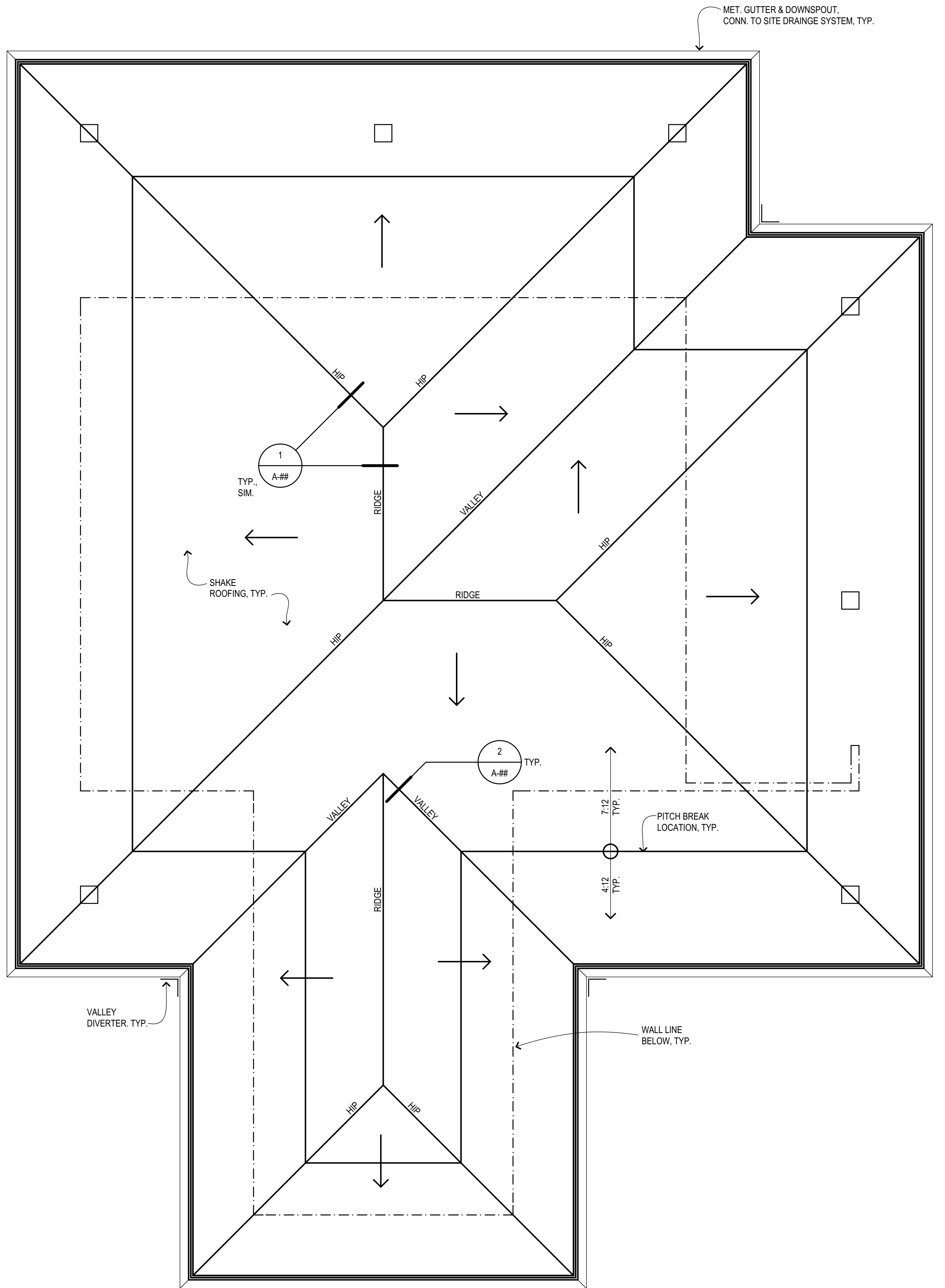
TMK: (2) 2-3-002 : 138

Sheet Number:

**A-9**

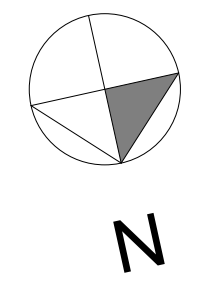


**2 Electrical Plan**  
Scale: 1/4" = 1'-0"



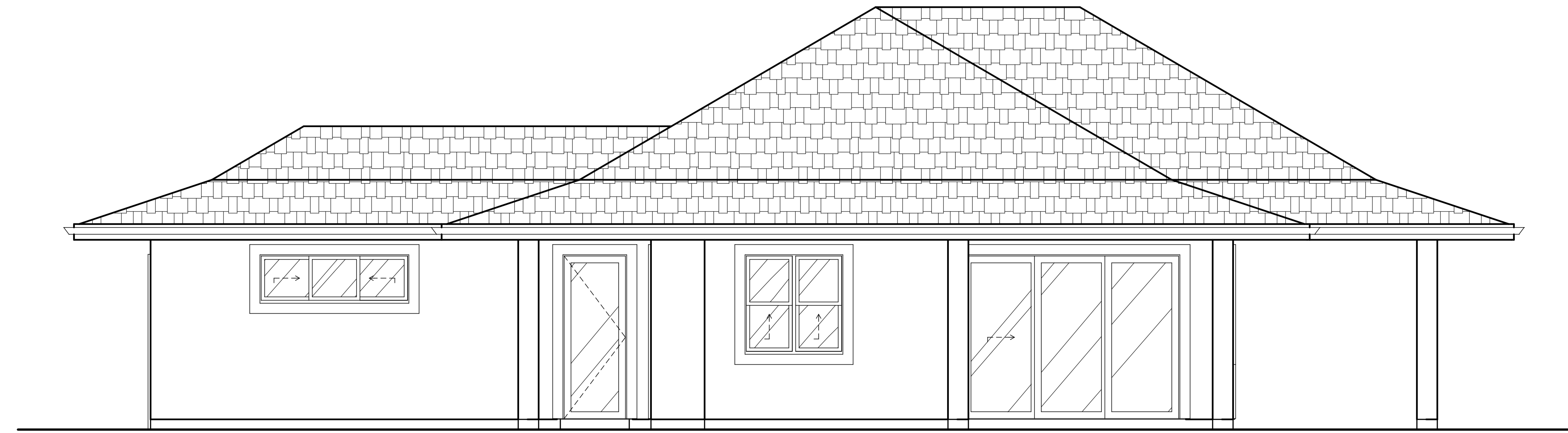
**NOTES:**

1. ROOF TO BE SPLIT PITCH, #12 & #12, TYPICAL.
2. ROOF MATERIAL TO BE CONC. ROOF TILES, REFER TO SPECIFICATIONS.
3. COLLECT ALL PLUMBING VENT PIPES WITHN ATTIC SPACES & PENETRATE THROUGH ROOF WITH A MAXIMUM OF FOUR (4) EXTERIOR VENT PIPES. ADDITIONAL VENT PIPE PENETRATIONS ARE TO BE APPROVED BY THE ARCHITECT. VENT PIPES TO BE FLASHED WITH SHEET LEAD CRIMPED OVER THE TOP OF STACKS.
4. FOR ROOF DETAILS SEE SHEET A-.
5. ROOF OVERHANG = 3'-0" TYP.
6. FOR METAL GUTTERS, EXPANSION JOINTS, STRAPS, CLIPS, FLASHING, DOWNSPOUTS & LEADER HEADS, FOLLOW THE SMACNA SHEET METAL STANDARDS & GUIDELINES.

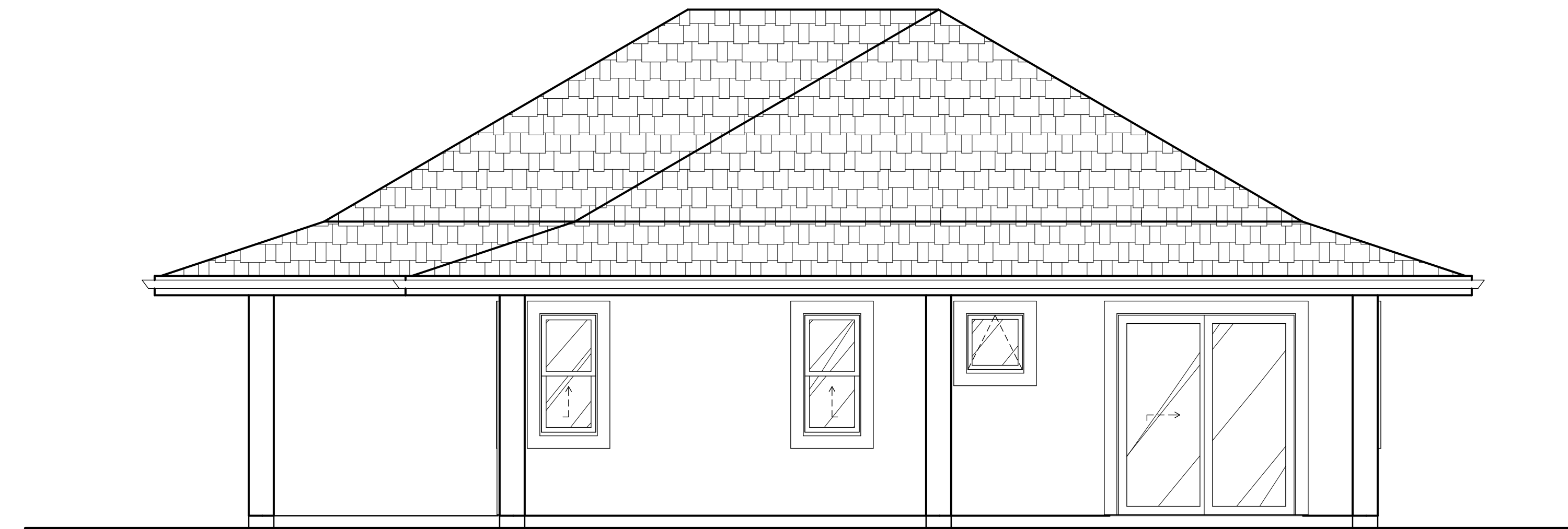


**1 Roof Plan**  
Scale: 1/4" = 1'-0"

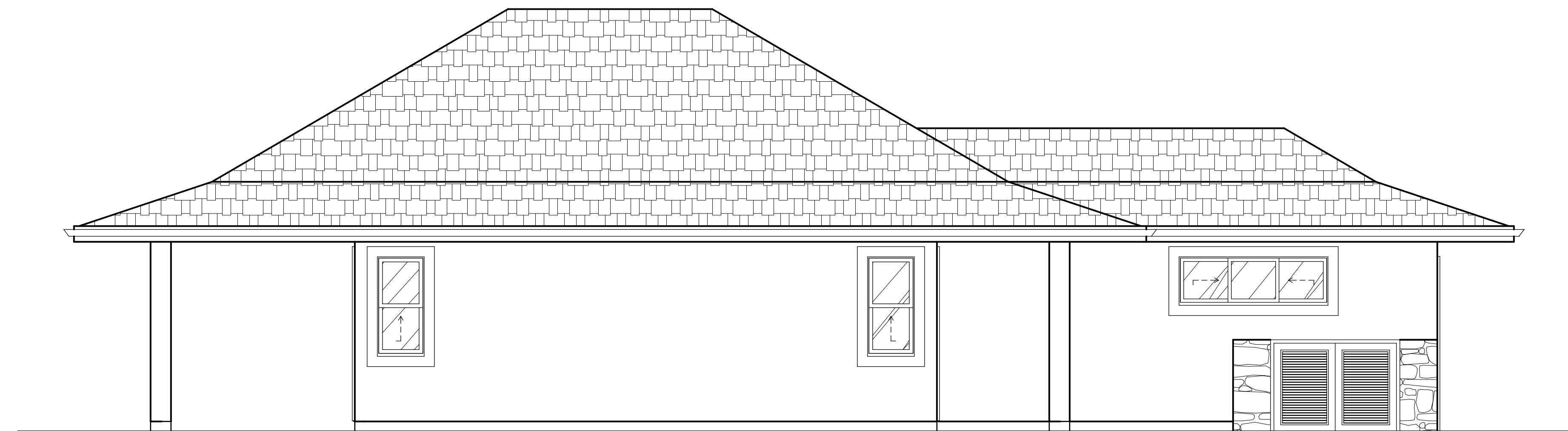
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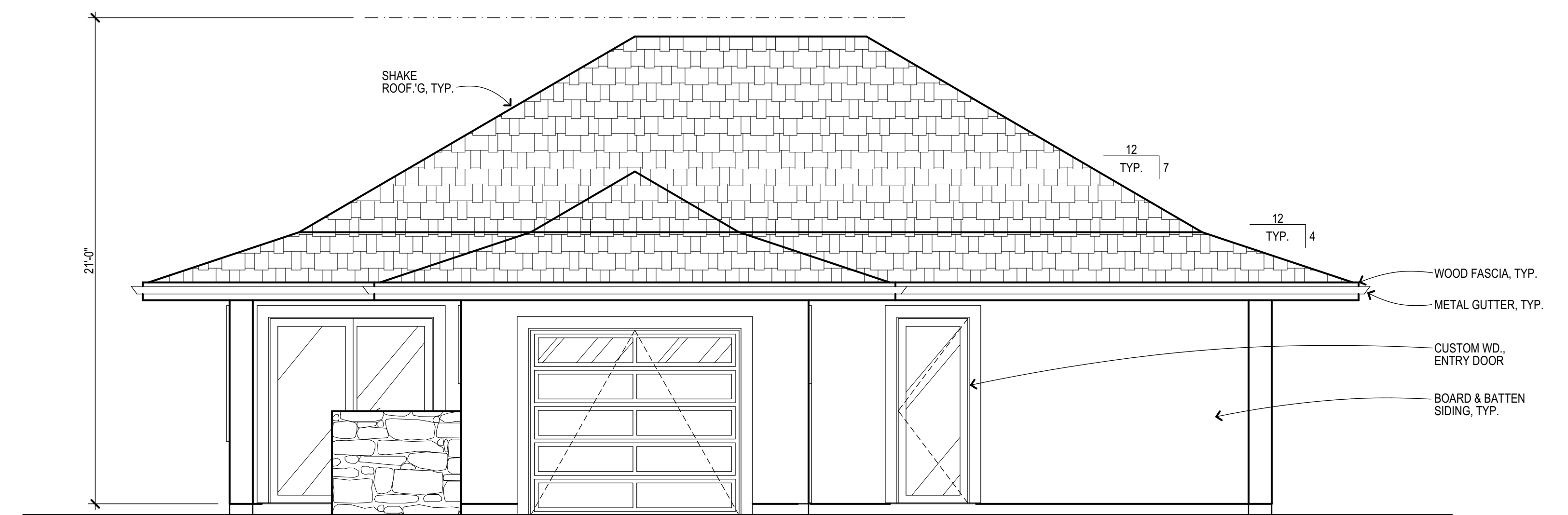
**4 Right Elevation**  
Scale: 1/4" = 1'-0"



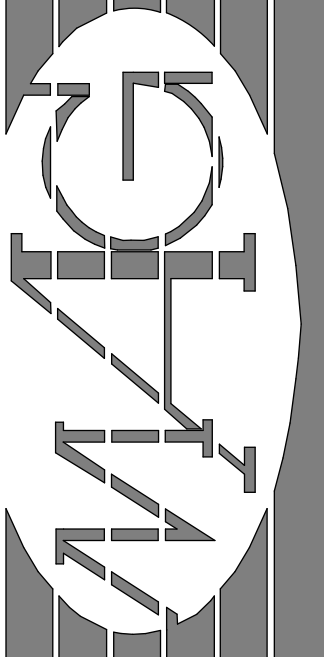
**3 Back Elevation**  
Scale: 1/4" = 1'-0"



**2 Left Elevation**  
Scale: 1/4" = 1'-0"



**1 Front Elevation**  
Scale: 1/4" = 1'-0"



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Dennis J. Harren

**Baty Residence**  
Chaum Ranch at Kula I'o - Lot 5  
Kula, Maui, Hawaii

No.	Revision

Ohana - Exterior Elevations

Date: June 01, 2021

Scale: As Noted

Phase: PERMIT

TMK: (2) 2-3-002 : 138

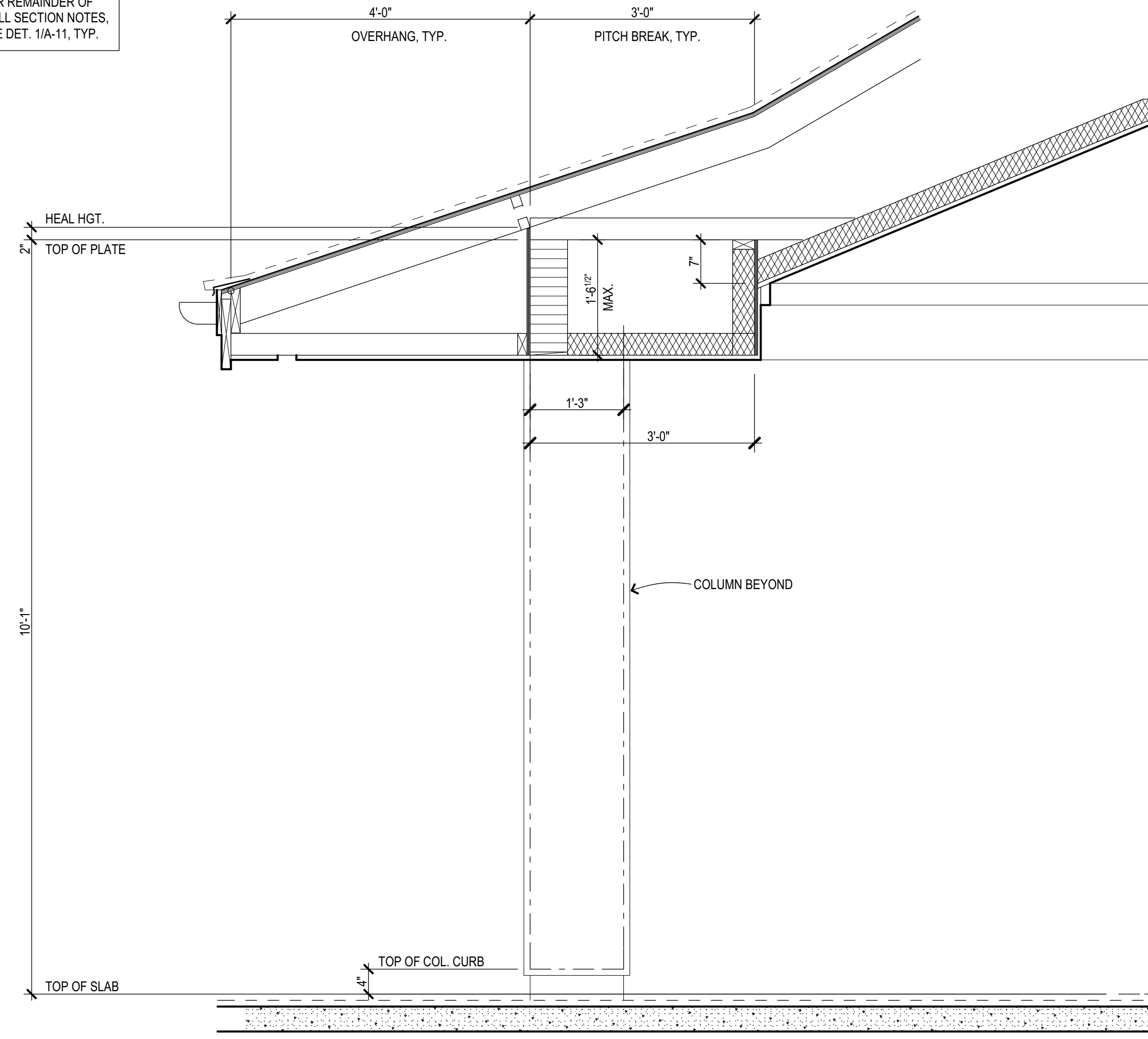
Sheet Number:

**A-10**

Sheet: Of:

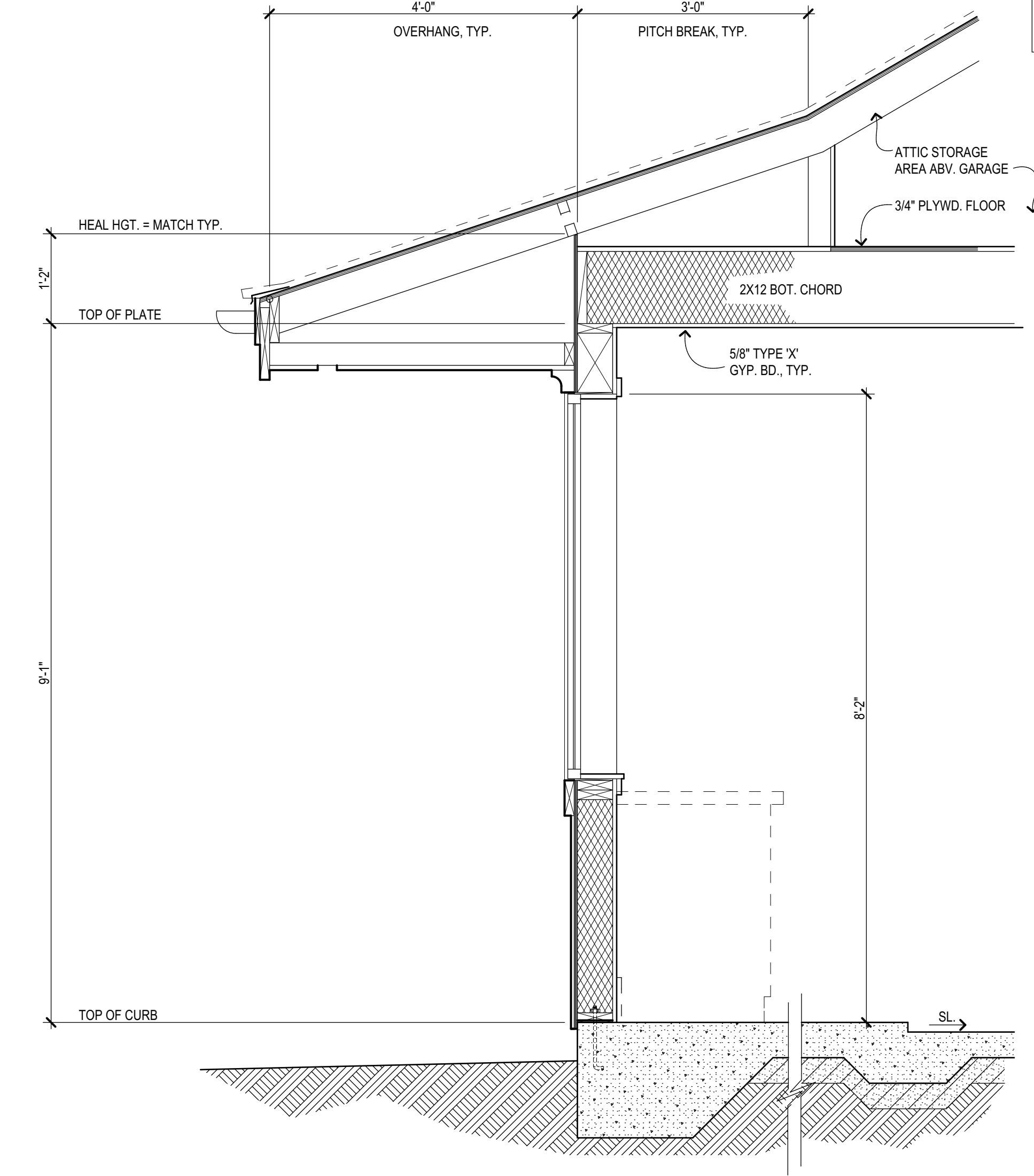


NOTE:  
FOR REMAINDER OF  
WALL SECTION NOTES,  
SEE DET. 1/A-11, TYP.



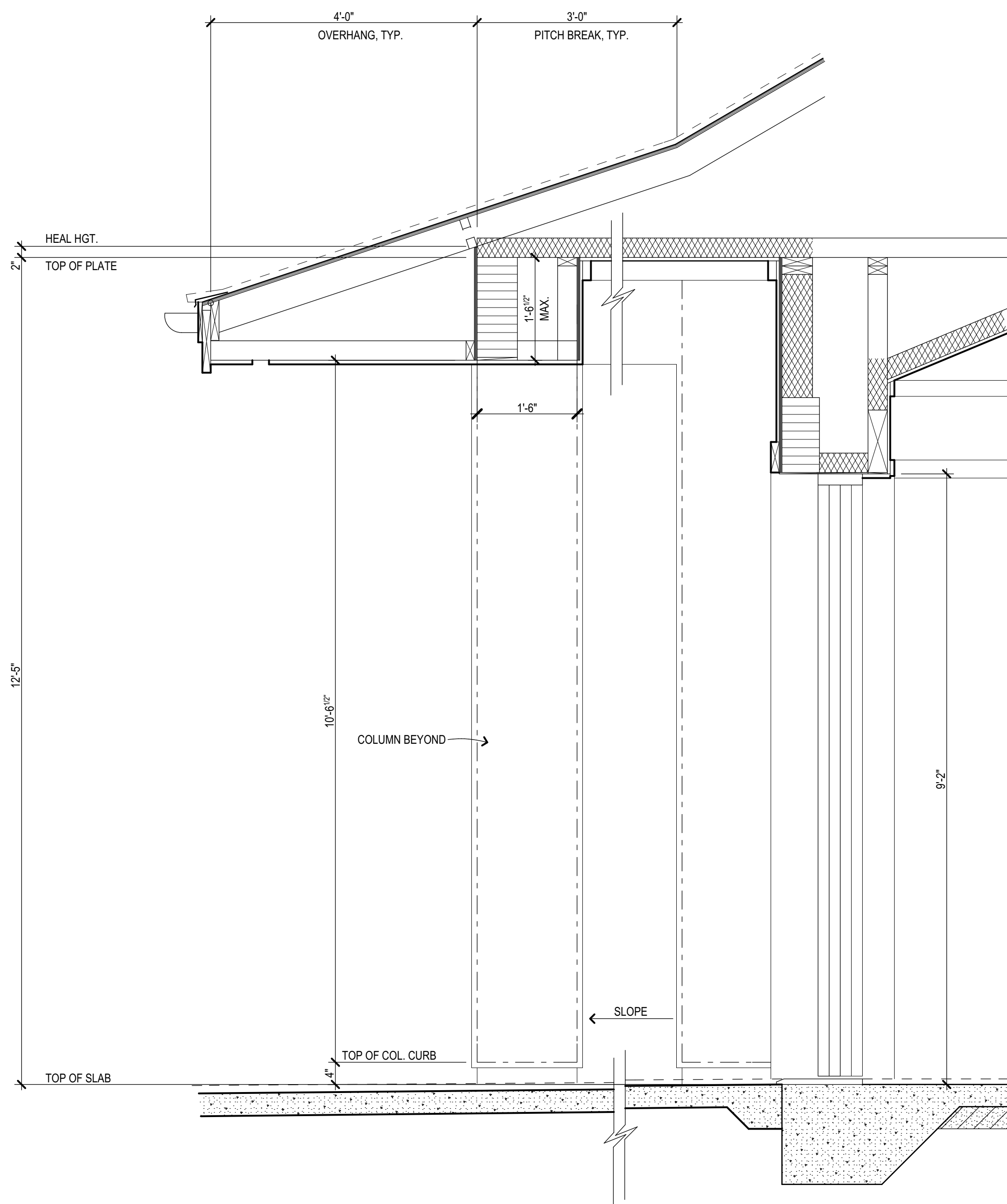
4 Wall Section @ Porte Cochere  
Scale: 3/4" = 1'-0"

NOTE:  
FOR REMAINDER OF  
WALL SECTION NOTES,  
SEE DET. 1/A-11, TYP.



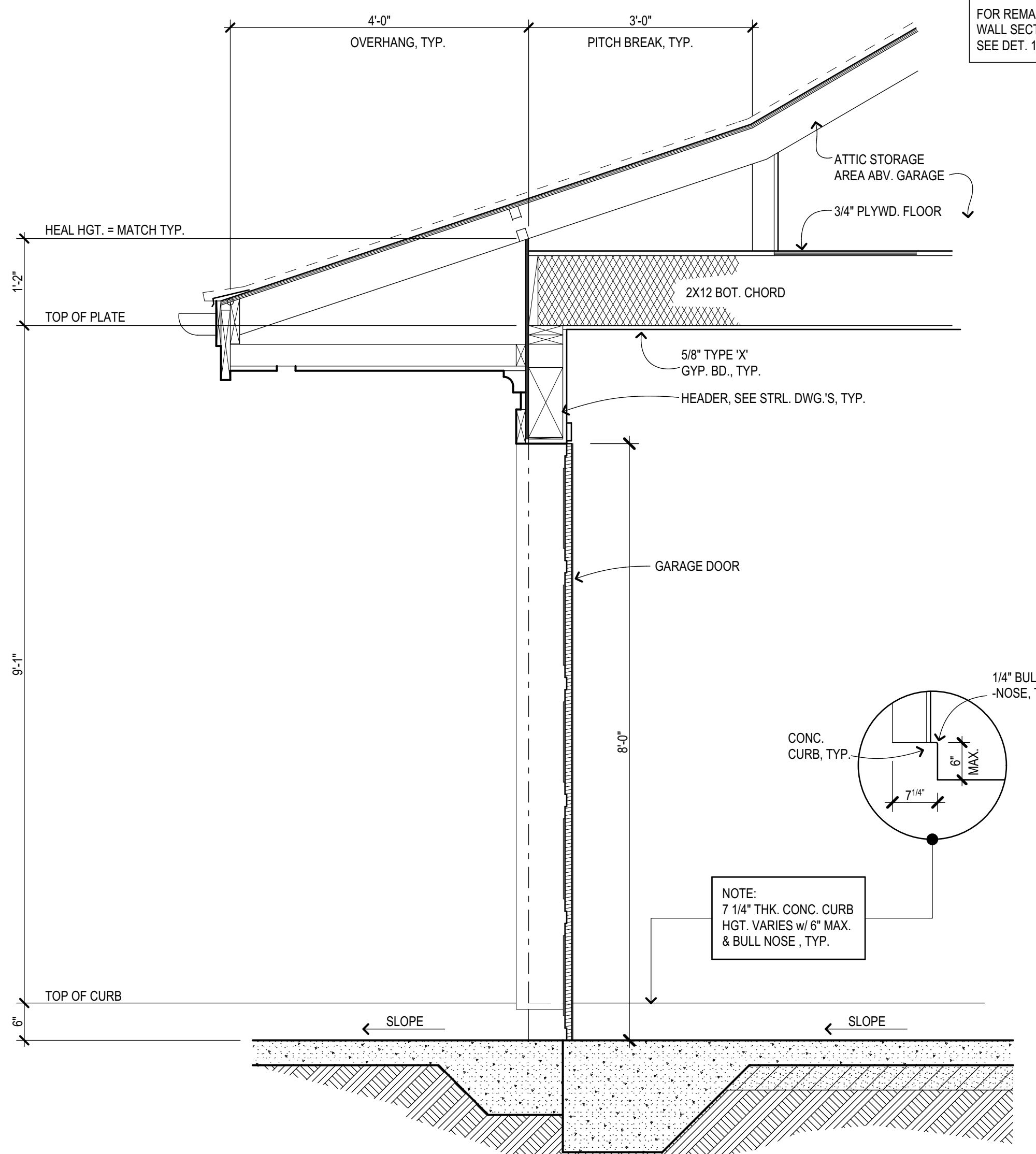
2 Wall Section @ Garage  
Scale: 3/4" = 1'-0"

NOTE:  
FOR REMAINDER OF  
WALL SECTION NOTES,  
SEE DET. 1/A-11, TYP.

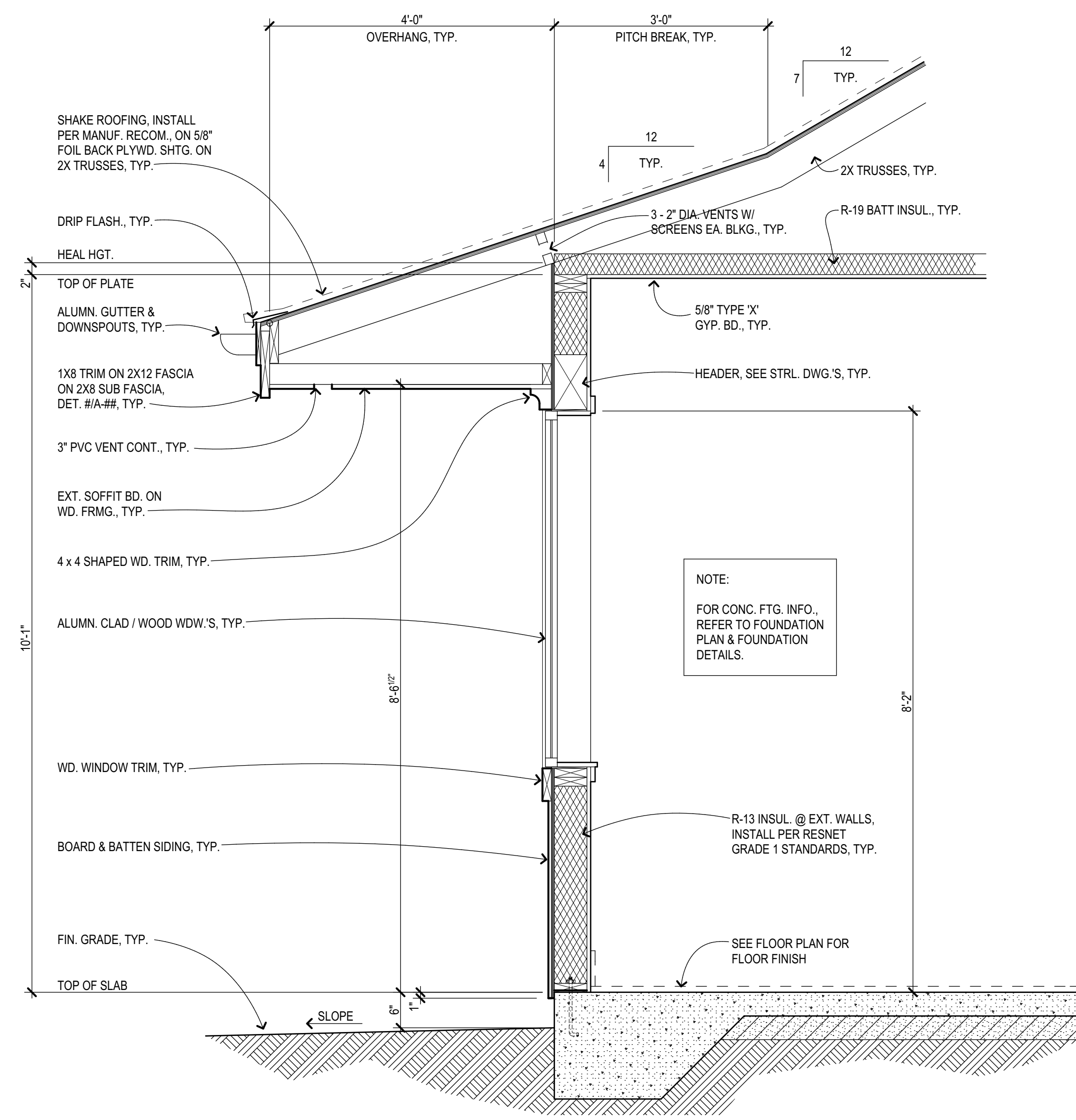


5 Wall Section @ G.R. Covered Lanai  
Scale: 3/4" = 1'-0"

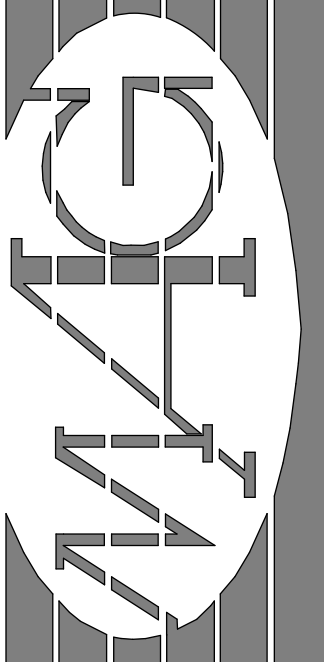
NOTE:  
FOR REMAINDER OF  
WALL SECTION NOTES,  
SEE DET. 1/A-11, TYP.



3 Wall Section @ Garage Door  
Scale: 3/4" = 1'-0"



1 Wall Section @ Typical  
Scale: 3/4" = 1'-0"



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*Dennis J. Harren*

**Baty Residence**  
Chaum Ranch at Kula I'o - Lot 5  
Kula, Maui, Hawaii

No.	Revision

Wall Sections

Date: June 01, 2021  
Scale: As Noted  
Phase: PERMIT  
TRK: (2) 2-3-002 : 138  
Sheet Number:

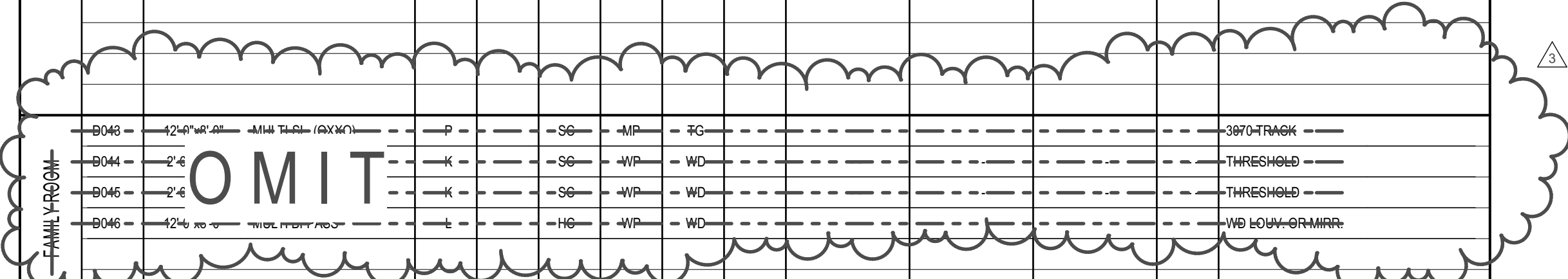
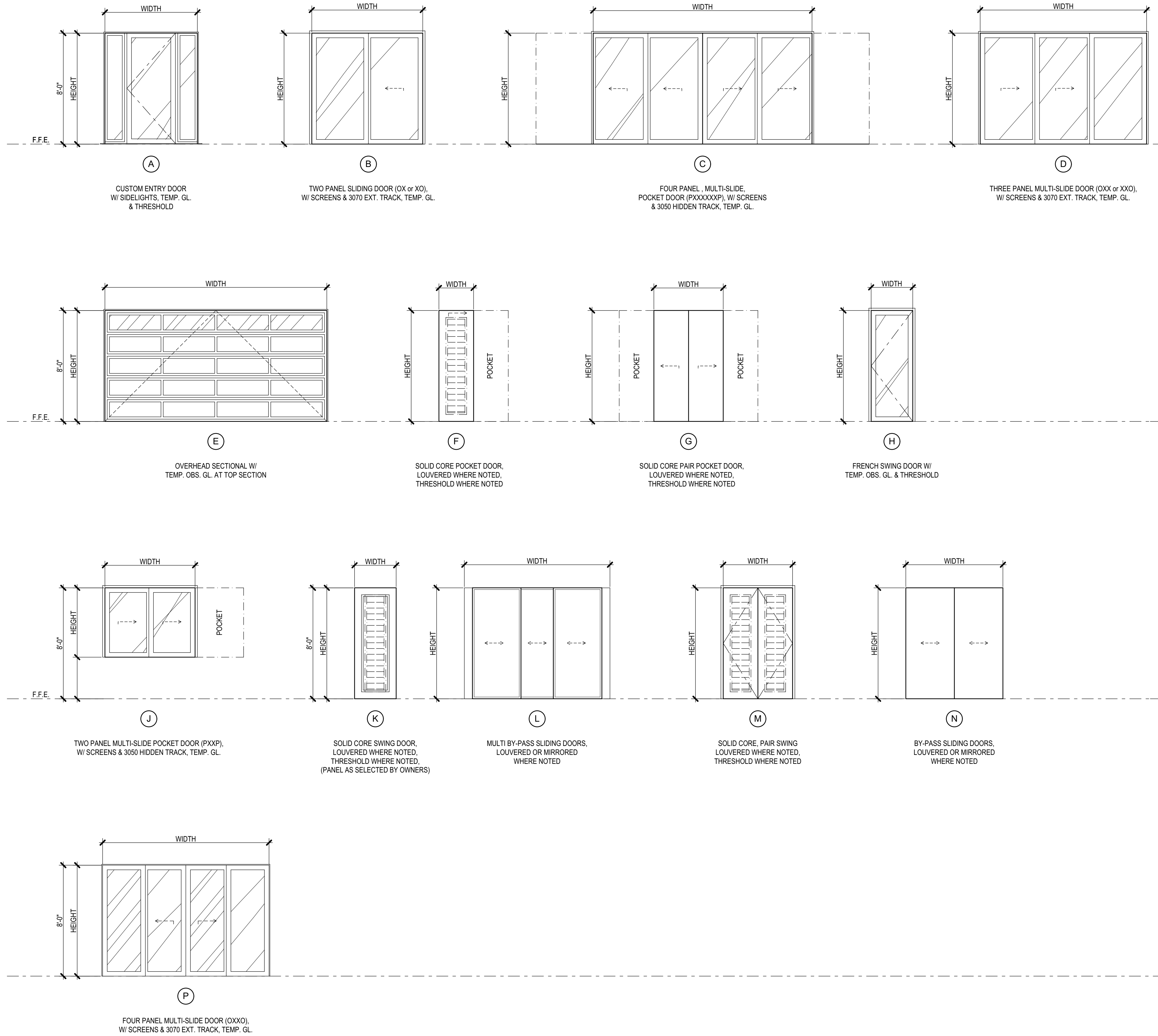
**A-13**

LEVEL	DOOR NO.	SIZE (WH) & FUNCTION	DOOR TYPE	THICKNESS (NOTE 3)	CONSTRUCTION (NOTE 4)	FACING & FINISH (NOTE 5)	GLASS / LOUVERS (NOTE 6)	RATING (NOTE 7)	FRAME DETAILS			REMARKS	
									HEAD	JAMB	SILL/THRESHOLD		
MAIN HOUSE	D001	4'-0"x8'-0"	DR. 2'-0" x 8'-0" SL. 1/2	A	SC	WP	TG					THRESHOLD	
	D002	12'-0"x8'-0"	MULTI-SL. (OXXX)	P	HM	MP	TG					3070 TRACK	
	D003	5'-0"x8'-0"	SLIDER (OX)	B	HM	MP	TG					3070 TRACK	
	D004	20'-0"x8'-2"	MULTI-SL. (PXXXXP)	C	HM	MP	TG					3050 HIDDEN TRACK	
	D005	5'-0"x8'-2"	MULTI-SL. (PXK)	J	HM	MP	TG					3070 TRACK	
	D006	3'-0"x8'-0"	SWING	H	SC	WP	OBS.TG					THRESHOLD	
	D008	12'-0"x8'-0"	MULTI-SL. (OXXX)	P	HM	MP	TG					3070 TRACK	
	D010	6'-0"x8'-0"	SLIDER (OX)	B	HM	MP	TG					3070 TRACK	
	D012	3'-0"x8'-0"	SWING	K	SC	WP	WD					LOUVERED, THRESH.	
	D013	3'-0"x8'-0"	SWING	H	SC	WP	OBS.TG					THRESHOLD	
	D014	18'-0"x8'-0"	OVERHEAD SECT.	E	HM	MP	OBS.TG					GL. @ TOP SECT.	
	D015	9'-0"x8'-0"	OVERHEAD SECT.	E	HM	MP	OBS.TG					GL. @ TOP SECT.	
	D016	3'-0"x8'-0"	SWING	K	SC	WP	WD					THRESHOLD	
	D017	2'-8"x8'-0"	POCKET	F	SC	WP	WD						
	D018	2'-8"x8'-0"	SWING	K	SC	WP	WD					THRESHOLD	
	D019	2'-8"x8'-0"	SWING	K	SC	WP	WD					THRESHOLD	
	D020	2'-8"x8'-0"	POCKET	F	SC	WP	WD						
	D021	3'-0"x8'-0"	SWING	K	SC	WP	WD					THRESHOLD	
	D022	3'-0"x8'-0"	SWING	K	SC	WP	WD					THRESHOLD	
	D023	3'-0"x8'-0"	SWING	K	SC	WP	WD					THRESHOLD	
	D024	2'-8"x8'-0"	SWING	K	SC	WP	WD					LOUVERED	
	D025	2'-8"x8'-0"	SWING	K	SC	WP	WD					LOUVERED	
	D026	3'-0"x8'-0"	POCKET	F	SC	WP	WD					LOUVERED	
	D027	3'-0"x8'-0"	POCKET	F	SC	WP	WD					LOUVERED	
	D028	2'-8"x8'-0"	SWING	K	SC	WP	WD					LOUVERED	
	D029	3'-0"x8'-0"	SWING	K	SC	WP	WD					LOUVERED	
	D030	6'-0"x8'-0"	PAIR SWING	M	SC	WP	WD					THRESHOLD	
	D031	3'-0"x8'-0"	SWING	K	SC	WP	WD					THRESHOLD	
	D032	3'-0"x8'-0"	SWING	K	SC	WP	WD					LOUVERED	
	D034	3'-0"x8'-0"	POCKET	F	SC	WP	WD					LOUVERED	
	D035	2'-8"x8'-0"	SWING	K	SC	WP	WD					LOUVERED	
	D036	5'-0"x8'-0"	PAIR SWING	M	SC	WP	WD					LOUVERED	
	D037	6'-0"x8'-0"	PAIR SWING	M	SC	WP	WD					THRESHOLD	
	D038	2'-8"x8'-0"	SWING	K	SC	WP	WD					LOUVERED	
	D039	5'-0"x8'-0"	PAIR SWING	M	SC	WP	WD					LOUVERED	
	D040	3'-0"x8'-0"	SWING	K	SC	WP	WD	20 MIN.				THRESHOLD	
	D041	10'-0"x8'-0"	BI-PASS	N	HC	WP	WD						
	OHANA	D047	3'-0"x8'-0"	SWING	H	SC	WP	OBS.TG					THRESHOLD
		D048	3'-0"x8'-0"	SWING	H	SC	WP	OBS.TG					THRESHOLD
		D049	9'-0"x8'-0"	OVERHEAD SECT.	E	HM	MP	OBS.TG					GL. @ TOP SECT.
		D050	7'-0"x8'-0"	SLIDER (OX)	B	HM	MP	TG					3070 TRACK
D051		7'-0"x8'-0"	SLIDER (OX)	B	HM	MP	TG					3070 TRACK	
D052		10'-0"x8'-0"	MULTI-SL. (OXXO)	D	HM	MP	TG					3070 TRACK	
D053		2'-8"x8'-0"	SWING	K	SC	WP	WD					THRESHOLD	
D054		2'-8"x8'-0"	SWING	K	SC	WP	WD					THRESHOLD	
D055		5'-0"x8'-0"	BI-PASS	N	HC	WP	WD / TG					WD. LOUV. OR MIRR.	
D056		5'-0"x8'-0"	BI-PASS	N	HC	WP	WD / TG					WD. LOUV. OR MIRR.	
D057	2'-8"x8'-0"	POCKET	F	SC	WP	WD					THRESHOLD		
D058	2'-8"x8'-0"	SWING	K	SC	WP	WD					THRESHOLD		
D059	3'-0"x8'-0"	PAIR SWING	M	SC	WP	WD					LOUVERED		

DOOR NOTES LIST

- \* INDICATES TYPICAL
- ( ) AROUND ANY ENTRY INDICATES REMARK NOTED IN REMARKS COLUMN PERTAINS
- ALL DOORS ARE 1 3/4" THICK UNLESS OTHERWISE NOTED
- DOOR CONSTRUCTION  
SC = SOLID CORE WOOD  
HC = HOLLOW CORE WOOD  
HM = HOLLOW METAL  
AL = ALUMINUM  
SL = STILE & RAILS / DECORATIVE / CARVED PANEL  
GL = GLASS  
SST = STAINLESS STEEL  
FRP = FIBERGLASS REINFORCED PANEL  
MET = METAL
- FACING AND FINISH (SEE ALSO DOOR SCHEDULE REMARKS LIST)  
WP = WOOD PAINTED  
MP = METAL PAINTED  
WS = WOOD TRANSPARENT FINISH  
AL = ALUMINUM ANODIZED  
EP = ALUMINUM ELECTROSTATIC PAINTED  
PL = PLASTIC LAMINATE  
SST = STAINLESS STEEL  
FRP = FIBERGLASS REINFORCED PANEL
- GLASS / LOUVERS: ALL GLASS ARE 1/2" CLEAR UNLESS OTHERWISE NOTED  
GLASS TYPES:  
TG = TEMPERED GLASS (SAFETY GLASS)  
FG = FLOAT GLASS  
WG = WIRE GLASS  
LA = LAMINATED GLASS  
LG = LEAD GLASS  
VG = ONE-WAY VISION GLASS  
OB = OBTURE GLASS  
LOUVER TYPES:  
AL = ALUMINUM  
WD = WOOD  
SM = SHEET METAL STATIONARY  
SMF = SHEET METAL W/ FUSIBLE LINK
- A-3, B-1, B-2, B-3, C-34, OR 20 MINUTE INDICATE LABEL & TIME OF FIRE RATING

NOTE:  
VERIFY WITH DOOR MANUFACTURER THE REQUIRED WIDTH OF WALLS AT ALL SLIDING DOORS, AND REQUIRED DEPTH OF POCKETS FOR POCKET DOORS.



**MAUI ARCHITECTURAL GROUP INC.**  
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1974 40th Anniversary 2014

STAMP:  
DENNIS J. HARLEN  
LICENSED PROFESSIONAL ARCHITECT  
No. 9681  
HAWAII, U.S.A.  
Exp. Date 4-30-22

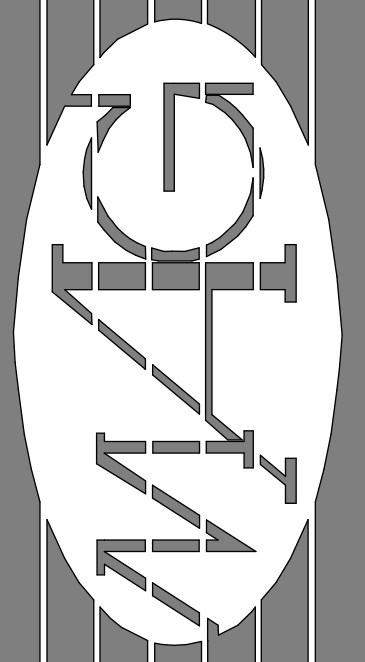
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*Dennis J. Harlen*

**Baty Residence**  
Chaum Ranch at Kula I'o - Lot 5  
Kula, Maui, Hawaii

No.	Revision
△	C.R.: 7-31-2021
△	C.R.: 9-28-2021

Date:	June 01, 2021
Scale:	As Noted
Phase:	PERMIT
TAK:	(2) 2-3-002 : 138
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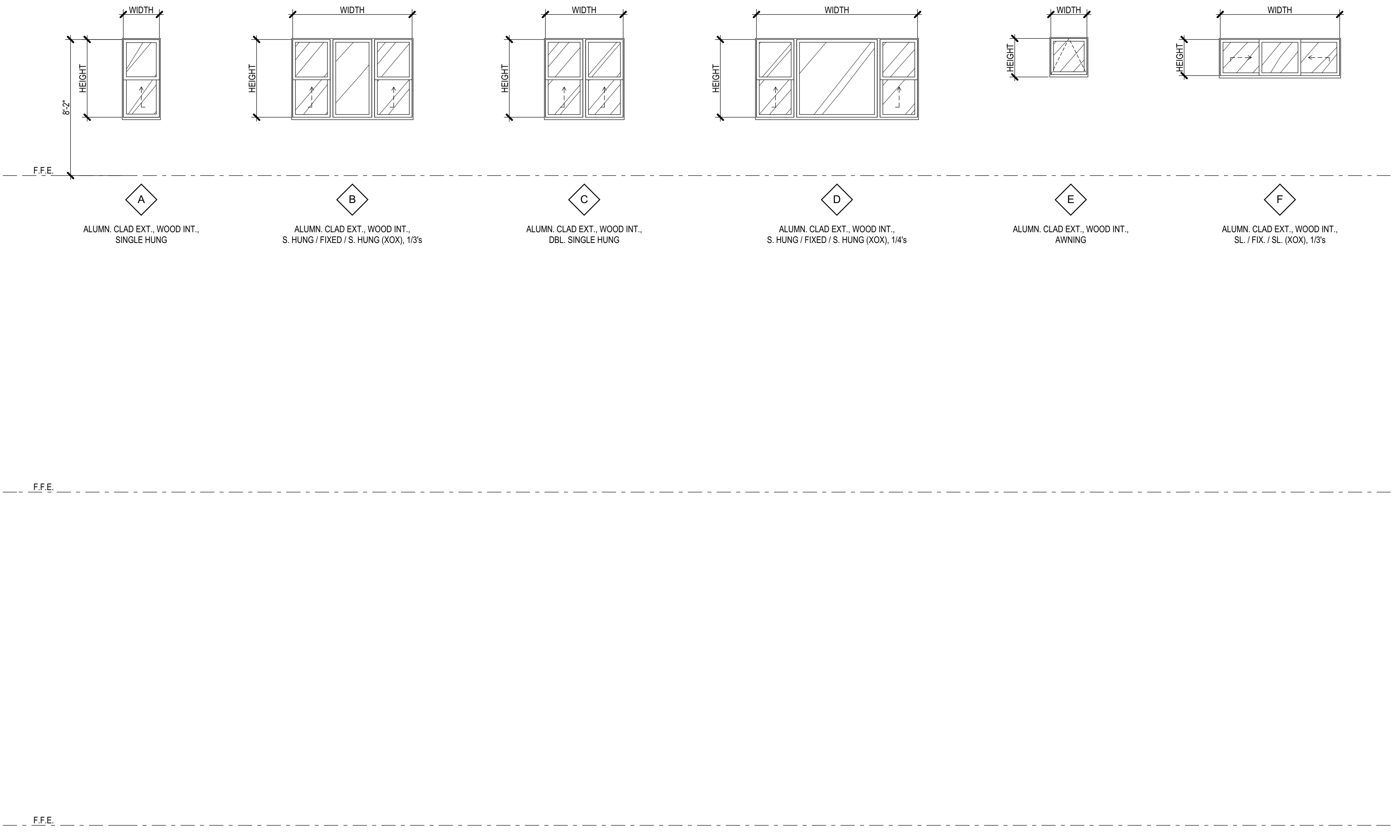
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*Dennis J. Harren*  
Architect

**WINDOW SCHEDULE**

LEVEL	WINDOW NO.	SIZE (W/H) & FUNCTION	WINDOW TYPE	CONSTRUCTION (NOTE 3)	FACING & FINISH (NOTE 4)	GLASS / LOUVERS (NOTE 5)	RATING (NOTE 6)	FRAME DETAILS			REMARKS	
								HEAD	JAMB	SILL		
MAIN HOUSE	W001	5'-0"x5'-0"	DBL. SINGLE HUNG	C	AL./WD.	MP	-					
	W002	2'-6"x5'-0"	SINGLE HUNG	A			-					
	W003	7'-6"x5'-0"	S. H. / FIX / S. H., 1/3s	B			-					EGRESS
	W004	2'-6"x2'-6"	AWNING	E			TG					EGRESS
	W005	2'-6"x2'-6"	AWNING	E			TG					
	W006	2'-6"x2'-6"	AWNING	E			TG					
	W007	2'-6"x2'-6"	AWNING	E			TG					
	W008	2'-6"x5'-0"	SINGLE HUNG	A			-					EGRESS
	W009	7'-6"x5'-0"	S. H. / FIX / S. H., 1/3s	B			-					EGRESS
	W010	2'-6"x5'-0"	SINGLE HUNG	A			-					
	W011	7'-6"x5'-0"	S. H. / FIX / S. H., 1/3s	B			-					
	W012	2'-6"x5'-0"	SINGLE HUNG	A			-					
	W013	2'-6"x2'-6"	AWNING	E			TG					
	W014	5'-0"x5'-0"	DBL. SINGLE HUNG	C			-					
	W015	2'-6"x2'-6"	AWNING	E			TG					
	W016	2'-6"x5'-0"	SINGLE HUNG	A			-					
	W017	2'-6"x2'-6"	AWNING	E			TG					
	W018	7'-6"x5'-0"	S. H. / FIX / S. H., 1/3s	B			-					
	W020	2'-6"x5'-0"	SINGLE HUNG	A			-					
	W021	5'-0"x5'-0"	DBL. SINGLE HUNG	C			-					
	W023	2'-6"x2'-6"	AWNING	E			TG					
	W024	2'-6"x2'-6"	AWNING	E			-					
	W025	7'-6"x5'-0"	S. H. / FIX / S. H., 1/3s	B			-					
	W027	7'-6"x5'-0"	S. H. / FIX / S. H., 1/3s	B			-					
	W028	2'-6"x2'-6"	AWNING	E			TG					
	W029	10'-0"x5'-0"	S. H. / FIX / S. H., 1/4s	D			-					
	W030	7'-6"x5'-0"	S. H. / FIX / S. H., 1/3s	B			-					
	W031	7'-6"x5'-0"	S. H. / FIX / S. H., 1/3s	B			-					
	W032	5'-0"x5'-0"	DBL. SINGLE HUNG	C			-					
	W033	10'-0"x5'-0"	S. H. / FIX / S. H., 1/4s	D			-					
	FAMILY ROOM	W034	2'-6"x2'-6"	AWNING	E		MP	-				
		W035	2'-6"x5'-0"	SINGLE HUNG	A			-				
		W036	2'-6"x5'-0"	SINGLE HUNG	A			-				
W037		2'-6"		A			-					
W038		2'-6"		A			-					
W039		7'-6"		A			-					
W040		2'-6"x5'-0"	SINGLE HUNG	A			-					
OHANA	W042	7'-6"x2'-6"	S. H. / FIX / S. H., 1/3s (XXX)	B	AL./WD.	MP	-					
	W043	7'-6"x2'-6"	S. H. / FIX / S. H., 1/3s (XXX)	B			-					
	W044	2'-6"x5'-0"	SINGLE HUNG	A			TG					
	W045	2'-6"x5'-0"	SINGLE HUNG	A			TG					
	W046	2'-6"x2'-6"	AWNING	E			TG					
W047	2'-6"x5'-0"	SINGLE HUNG	A			-						
W048	2'-6"x5'-0"	SINGLE HUNG	A			-						
W049	5'-0"x5'-0"	DBL. SINGLE HUNG	C			-						

**WINDOW TYPES -**



- WINDOW NOTES LIST**
- \* INDICATES TYPICAL
  - ( ) AROUND ANY ENTRY INDICATES REMARK NOTED IN REMARKS COLUMN PERTAINS
  - WINDOW CONSTRUCTION  
AL = ALUMINUM  
HM = HOLLOW METAL  
WD = WOOD  
PVC = POLYVINYL CHLORIDE
  - FACING AND FINISH (SEE ALSO WINDOW SCHEDULE REMARKS LIST)  
MP = METAL PAINTED  
WP = WOOD PAINTED  
WS = WOOD STAIN/PREPAINTED FINISH  
AN = ALUMINUM ANODIZED  
EP = ALUMINUM ELECTROSTATIC PAINTED  
PVC = POLYVINYL CHLORIDE
  - GLASS/LOUVERS: ALL GLASS ARE 1/4" CLEAR UNLESS OTHERWISE NOTED  
GLASS TYPES:  
FG = FLOAT GLASS  
TG = TEMPERED GLASS (SAFETY GLASS)  
FG = FLOOR GLASS  
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VG = ONE-WAY VISION GLASS  
OG = OBTURATE GLASS  
LOUVER TYPES:  
AL = ALUMINUM  
WD = WOOD  
SM = SHEET METAL STATIONARY  
SMF = SHEET METAL W/ FUSIBLE LINK
  - C 3H INDICATES LABEL & HOURS OF FIRE RATING.
  - ALL EXTERIOR GLASS SHOULD BE LOW'E.

**Baty Residence**  
Chaum Ranch at Kula I'o - Lot 5  
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No.	Revision
△	CR: 7-31-2021
△	CR: 9-28-2021

Window Schedule & Types  
Date: June 01, 2021  
Scale: As Noted  
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TRK: (2) 2-3-002 : 138  
Sheet Number:

**1** Window Types & Schedule  
Scale: 1/4" = 1'-0"

**A-15**  
Sheet: Of